



Reserve Funding Analysis Update

FY 2021 - 2022

for

Desert Mountain at High Desert

December 9, 2021



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FY 2021 - 2022**

for

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December 9, 2021

Ms. Lynnette Rodriguez
HOAMCO
10555 Montgomery Boulevard NE
Albuquerque, New Mexico 87111

Subject: Desert Mountain at High Desert

Dear Ms. Rodriguez:

Great Boards, LLC is pleased to present to Desert Mountain at High Desert its requested FY2021-2022 reserve funding study update.

The following is a summary of the reserve study report for Desert Mountain at High Desert:

Project Description

Desert Mountain at High Desert is a 180 unit single-family home subdivision within the High Desert master association located in Albuquerque, New Mexico. Common area components include private streets with multiple access gates and access control system, common area landscaping, perimeter stucco and metal fencing, gated swimming pool and spa area with furniture, and a ramada with restroom and shower facilities.

Client has advised that an annual preventative maintenance plan was implemented in 2016 for asphalt streets in order to extend the useful life of the asphalt surfaces between overlay cycles. This maintenance is being performed under the community's annual operating budget.

Client has advised that entry monument signage, as well as walls and fencing that abut desert common areas will be maintained by the High Desert Residential Owners Association. Accordingly, those components that may have been included in a prior reserve study report have been removed from the inventory for this report and moved into the master association's reserve study.

This is an update to the April 29, 2018 report prepared by Great Boards, LLC.

Date of Physical Inspection

Desert Mountain at High Desert was physically inspected by Great Boards, LLC on March 19, 2021.

Depth of Study

Reserve Study Update with Field Inspection A field inspection was made to visually verify the existing component conditions and to visually verify existing component quantities. In place testing, laboratory testing, and non-destructive testing of the reserve study components were not performed. Field measurements of some components were made to either verify improvement plan take offs or determine directly the quantities of a component. Photographs were taken of some of the site improvements.

Fiscal Year

This reserve study was prepared for the fiscal year 2021-22, beginning July 1, 2021 and ending June 30, 2022.

Initial Reserves

Initial reserves for this Reserve Study were estimated to be \$ 285,331 on July 1, 2021. An implicit assumption has been made that these reserves will not be drawn-down between the date of our estimate and the study start date.

Inflation Estimate

Inflation for the last year has been reviewed and a best estimate of the expected inflation for 2021 has been used to inflate future expenses.

Reserve Funding Goal

The reserve fund is set to be as close to fully funded as possible on an annual basis.

Summary of Financial Assumptions

The below table contains a partial summary of information provided by client for the Desert Mountain at High Desert reserve funding study.

<i>Fiscal Calendar Year Begins</i>	<i>July 1</i>
<i>Reserve Study by Fiscal Calendar Year Starting</i>	<i>July 1, 2021</i>
<i>Funding Study Length</i>	<i>31 Years</i>
<i>Number of Dues Paying Members</i>	<i>180</i>
<i>Initial Reserves¹</i>	<i>\$ 285,331</i>
<i>Annual Inflation Rate</i>	<i>2.50%</i>
<i>Tax Rate on Reserve Interest</i>	<i>0.00%</i>
<i>Minimum Reserve Account Balance</i>	<i>\$ 0</i>
<i>Dues Change Period</i>	<i>2 Years</i>
<i>Annual Operating Budget</i>	<i>\$ 0</i>

¹ See Appendix A

Reserve Study Assumptions

The below-listed assumptions are implicit in this reserve study:

- Cost estimates and financial information are accurate and current
- No unforeseen circumstances will cause a significant reduction of reserves
- Sufficient comprehensive property insurance exists to protect from insurable risks
- The Association plans to continue to maintain the existing common areas and amenities
- Reserve payments occur at the end of every calendar month
- Expenses occur at the end of the expense year.

Impact of Component Life

The projected life expectancy of the major components and the Association's reserve funding needs are closely tied. Performing the

appropriate routine maintenance for each major component generally increases component useful life, effectively moving the component expense into the future, which reduces the Association's reserve funding payments. Failure to perform such maintenance can shorten the remaining useful life of major components, bringing the replacement expense closer to the present, and increasing the Association's reserve funding payments.

Financial Condition of Association

Reserve account balance and interest rates reported by client as of February 28, 2021; plus remaining budgeted FY2020-2021 reserves contributions.

Special Assessments

A special assessment is not indicated during the 30-year scope of this reserve study.

Study Method

In this study, we have used the "component" method because it is the only method which allows scrutiny of the funding details. The method is pragmatic, and allows human judgment and experience to enter into the equation.

Unless otherwise noted, the present cost of every reserve item in this report has been estimated using national standards and modified by an area cost adjustment factor. Where possible, known costs have been used. In addition, every reserve item has been given an estimated remaining useful life, an estimated useful life when new, and has been cast into the future to determine the inflated cost.

Equal annual payments are calculated for each reserve item based upon a payment starting year and a payment ending year using the end of period payment method. Interest earned on accumulated reserve funds and taxes on the reserve interest are also calculated. Initial reserve funds are consumed as expenses occur until fully depleted, reducing annual reserve payments to a minimum.

Summary of Findings

Great Boards, LLC has estimated future projected expenses for Desert Mountain at High Desert based upon preservation of existing improvements.

The attached funding study is limited in scope to those expense items listed in the attached "Desert Mountain at High Desert Reserve Study Expense Items". Expense items which have an expected life of more than 31 Years are not included in this reserve study unless payment for these long lived items occurs within the 31 Years of the reserve study envelope.

Of primary concern is the preservation of a positive funding balance with funds sufficient to meet projected expenses throughout the study life. Based upon the attached funding study, it is our professional opinion that member monthly fees as shown in the attached "Desert Mountain at High Desert Dues Summary" will realize this goal. Some reserve items in the "Desert Mountain at High Desert Revenue Summary Table" may not contain payments. In this analysis the initial reserves were used to make annual payments for expense items in their order of occurrence until the initial reserve was consumed. As a result reserve items without payments may be expected, particularly in the first few years of the funding study. Reserve items that have been paid with initial reserve funds are identified with a [FP] in the Expense Items Sheets. An item marked [PR] is partially paid with initial reserve funds.

Recommended Payment Schedule

The table below contains Great Boards, LLC recommended schedule of payments for the next five years. Failure to follow the propose schedule of payments may result in inadequate Desert Mountain at High Desert reserve funds or require the use of special assessments in the future.

Proposed Modified Payment

Fiscal Calendar Year	Member Monthly Reserve Payment	Monthly Reserve Payment	Annual Reserve Payment	Proposed Reserve Balance
2021	\$ 12.85	\$ 2,314	\$ 27,766	\$ 295,632
2022	\$ 19.15	\$ 3,447	\$ 41,367	\$ 312,203
2023	\$ 19.15	\$ 3,447	\$ 41,367	\$ 305,715
2024	\$ 20.86	\$ 3,755	\$ 45,057	\$ 325,440
2025	\$ 20.86	\$ 3,755	\$ 45,057	\$ 363,733
2026	\$ 23.42	\$ 4,215	\$ 50,583	\$ 409,626

* Annual Reserve Payments have been manually modified.

Modified.

Fiscal Year beginning July 1, 2021

Reserve Funding Status

Funding positions for reserve accounts generally fall into three categories. Reserves balances that fall between zero and 30% are considered "weak" as the special assessment probability of 26 to 53% is high. The second category is reserves within the 30 to 70% range. This funding position is classified as "fair" as the projected special assessment requirement is in the 3.50 to 17.60% range. When a funding position is referred to as "strong," reserves are between 70 and 100%, the risk of special assessment drops to between 2.40 and 1%.

By following the recommended payment plan, as of June 30, 2022, reserves for Desert Mountain at High Desert will be at an estimated 91.7% funding level. Accordingly, reserves for Desert Mountain at High Desert are anticipated to be strong, and by following the recommended funding plan, the Association will have adequate funds to meet projected repair and replacement expenses.

Percent Funded

Many reserve studies use the concept of "percent funded" to measure the reserve account balance against a theoretically perfect value. Percent funded is often used as a measure of the "financial health" of an association. The assumption is, the higher the percentage, the greater the "financial health". The question of substance is simply: "how much is enough?"

To answer the question, some understanding of percent funded is required. Percent funded is the ratio of current cash reserves divided by the fully funded value at any instant in time. Fully funded is defined as the future value, multiplied by the number of years used, divided by the expected life for the sum of all reserve items. In essence, fully funded is simply the total of the average net present value of the association improvements. Percent funded is then, the current reserve balance divided by the fully funded value multiplied by 100 (to give a percentage). The concept is useful when the reserve study is comprehensive, but misleading when the reserve study is superficial or constrained. As a result, we recommend that the statement "percent funded" be used with caution.

Keeping Your Reserve Study Current

Great Boards, LLC believes that reserves funding studies are an essential part of community management. Property constantly changes and evolves, and as a result, the useful life of a reserves funding study is at best a few years, and certainly not more than five years. Accordingly, this reserve study should be updated:

- At changes in interest rates

- At changes in inflation rates
- At changes in the number of dues paying members
- Before starting new improvements
- Before making changes to the property
- After a flood or fire
- After the change of ownership or management
- After annexation or incorporation.

Items Beyond the Scope of this Report

Items beyond the scope of this report include:

- Building or land appraisals for any purpose
- State or local zoning ordinance violations
- Building code violations
- Soils conditions, soils contamination or geological stability of site
- Engineering analysis or structural stability of site
- Air quality, asbestos, electromagnetic radiation, formaldehyde, lead, mercury, radon, water quality or other environmental hazards
- Invasions by pests, termites and any or all other destroying organisms, insects, birds, bats or animals to buildings or site--this study is not a pest inspection
- Adequacy or efficiency of any system or component on site
- Specifically excluded reserve items
- Septic systems and septic tanks
- Buried or concealed portions of swimming pools, pool liners, Jacuzzis and spas or similar items
- Items concealed by signs, carpets or other things are also excluded from this study
- Missing or omitted information supplied by client for the purposes of reserve study preparation
- Hidden improvements such as sewer lines, water lines, irrigation lines or other buried or concealed items.

Cost Data Sources

The sources used to obtain cost data for the components in this report include local suppliers, the National Construction Estimator, RS Means Valuation Service, and the AFI database. The AFI database is a collection of cost data that is integrated with the AFI Professional reserve study software used by Great Boards, LLC. Wherever necessary, costs have been indexed to reflect pricing in the Albuquerque, New Mexico area.

Statement of Qualifications

Great Boards, LLC is a professional in the business of preparing reserve studies for community associations and is familiar with construction practices, construction costs, and contracting practices in the state of New Mexico. The preparer of this reserve study is a CAI-certified Reserve Study Specialist.

Conflict of Interest

As the preparer of this reserve study, Great Boards, LLC certifies that it does not have any vested interests, financial interests, or other interests that would cause a conflict of interest in the preparation of this reserve study. This reserve study is a reflection of information provided to the reserve study preparer and created for the Association's use, not for the purpose of an audit, background checks of historical records, or forensic/quality analyses. Any on-site inspection is not a project audit or quality inspection.

Prepared by Great Boards, LLC

Desert Mountain at High Desert Funding Study Summary - Continued

Great Boards, LLC would like to thank Desert Mountain at High Desert for the opportunity to be of service in the preparation of the attached FY2021-2022 reserve study update. Please feel free to contact us by email at kerry.goto@greatboards.com, or by telephone at (602) 569-0288 with any questions regarding this report.

Prepared by:



Kerry-Lynn Goto, RS

Enclosures:

14 Pages of Photographs Attached

APPENDIX "A" - Summary of Reserve Accounts

Expense Summary for Asphalt & Concrete - Concrete Repairs/Resurfacing Pool Deck



Entry directory



Typical camera



Card access system controller



Gate operator



Pedestrian access gate keypad



Typical street asphalt



Typical concrete walkway



Typical concrete pool deck



Typical concrete pool and ramada furniture



Typical pool area furniture



Typical irrigation controller



Typical irrigation backflow preventer



Typical bollard light fixture



Typical pole-mounted street light



Typical pool-area fencing



Typical internal stucco wall



Swimming pool



Pool/spa chemical feeder



Pool heater



Typical pool/spa filter



Typical pool/spa pump and motor



Spa



Spa heater



Water heater



Typical pool-area restroom interior



Pool-area shower



Pool-area ramada



Typical street identification and traffic signage

APPENDIX "A"
Summary of Reserve Accounts

Account Description	Amount	Interest Rate	Statement Date
Remaining budgeted FY2020-2021 Reserve	\$ 10,341.75	.20%	June 23, 2021
1053 - Fidelity Desert Mtn Reserve MM Z40-027656	\$ 69,526.56	.20%	February 28, 2021
1053.1 - Fidelity Desert Mtn RSV CDs	\$ 205,276.75	.20%	February 28, 2021
Reserve Account Total Earned Interest	\$ 185.73		July 1, 2021
<i>Reserve Values Used :</i>	<i>\$ 285,330.79</i>	<i>.20%</i>	<i>July 1, 2021</i>

Initial reserve balances have been provided by client and have not been audited for use in this report.

Evaluation of Initial Reserve Account:

Reserve account balance and interest rates reported by client as of February 28, 2021; plus remaining budgeted FY2020-2021 reserves contributions.

Initial reserve funds are contained in 3 separate funding accounts. The future value of each account was calculated based upon the account interest rate and the number of elapsed days until the study start date (July 1, 2021). The future value of the accounts was totaled and the interest rates were blended to yield a weighted average interest rate of 0.20%. The implicit assumption has been made that the reserve accounts were not drawn down between the date of the known reserve balance and the study start date.

Reserve Category - Asphalt & Concrete



Pool deck concrete cracking

Reserve Item - Concrete Repairs/Resurfacing Pool Deck

Unit Cost	No Units	Current Cost When New	Expected Life When New	Estimated Remaining Life	Expense Year	Estimated Future Cost
\$ 4.50 / ft ²	3670 ft ²	\$ 16,515.00	10 Years	0 Year	2021	\$ 16,933
				10 Years	2031	\$ 21,736
					2041	\$ 27,903
					2051	\$ 35,818

Component consists of repairs/resurfacing of 3,670 sq. ft. of concrete deck. Client has advised that this deck was replaced in 2010 in conjunction with the pool area refurbishment. Accordingly the remaining useful life for this component has been adjusted to reflect this replacement.

Some cracking and staining was noted during our March 19, 2021 site visit.

Cost source: Client

Desert Mountain at High Desert Reserve Study Expense Item Summary

Reserve Items	Current Cost When New	Estimated Remaining Life	Expected Life When New	First Replacement Cost	Repeating Item?
Access Control					
(D) Access System Replacement	\$ 4,500	1 Years	7 Year	\$ 4,730	Yes
(D) Camera System Replacement	\$ 6,487	1 Years	10 Year	\$ 6,819	Yes
(D) Card Access System Pool Replacement	\$ 2,200	1 Years	7 Year	\$ 2,313	Yes
(D) High Desert Gate Operators Refurbishment	\$ 2,700	8 Years	10 Years	\$ 3,380	Yes
(D) High Desert Gate Operators Replacement	\$ 10,500	8 Years	20 Years	\$ 13,146	Yes
(D) Imperata Gate Operators Refurbishment	\$ 1,800	8 Years	10 Years	\$ 2,254	Yes
(D) Imperata Gate Operators Replacement	\$ 7,000	8 Years	20 Years	\$ 8,764	Yes
(D) Keypad Pedestrian Gate Replacement	\$ 400	8 Years	10 Years	\$ 501	Yes
(D) Pool Keypad Access Systems Replacement	\$ 1,600	1 Years	7 Year	\$ 1,682	Yes
Asphalt & Concrete					
(D) Asphalt Cracksealing & Minor Repairs	\$ 6,020	2 Years	5 Years	\$ 6,488	Yes
(D) Asphalt Resurfacing	\$ 261,567	13 Years	30 Years	\$ 371,046	Yes
(D) Asphalt Sealcoating	\$ 29,643	2 Years	5 Years	\$ 31,949	Yes
(D) Concrete Partial Replacement	\$ 8,750	3 Years	5 Years	\$ 9,669	Yes
(D) Concrete Repairs/Resurfacing Pool Deck	\$ 16,515	0 Years	10 Years	\$ 16,933	Yes
(D) Concrete Replacement Pool Deck	\$ 22,000	20 Years	30 Years	\$ 37,170	Yes
Furniture					
(D) Pool Area Ramada Furniture Replacement	\$ 3,475	30 Years	35 Years	\$ 7,537	No
(D) Pool Deck Furniture Replacement	\$ 2,975	2 Years	4 Years	\$ 3,206	Yes

Desert Mountain at High Desert Funding Study Expense Item Summary - Continued

Reserve Items	Current Cost When New	Estimated Remaining Life	Expected Life When New	First Replacement Cost	Repeating Item?
Infrastructure					
(D) Sewer Connection Partial Replacement	\$ 45,000	30 Years	35 Years	\$ 97,598	No
Landscaping & Irrigation					
(D) Irrigation Backflow Preventers Unfunded	\$ 0.00	35 Years	35 Years	\$ 0	No
(D) Irrigation Street Drains Replacement	\$ 26,220	30 Years	35 Years	\$ 56,867	No
(D) Irrigation Systems Replacement	\$ 16,500	17 Years	30 Years	\$ 25,865	Yes
(D) Irrigation Controllers Replacement Unfunded	\$ 0.00	35 Years	35 Years	\$ 0	No
(D) Landscaping Decomposed Granite Replenishment	\$ 11,000	3 Years	10 Years	\$ 12,156	Yes
(D) Landscaping Plant Materials Replacement	\$ 8,500	8 Years	10 Years	\$ 10,642	Yes
Lighting					
(D) Bollard Lights Replacement	\$ 9,000	11 Years	15 Years	\$ 12,145	Yes
(D) Street Lights Replacement	\$ 14,595	30 Years	35 Years	\$ 31,654	No
Painting & Repairs					
(D) Metal Fence Pool Perimeter Painting	\$ 2,040	3 Years	5 Years	\$ 2,254	Yes
(D) Metal Gates Painting	\$ 969	2 Years	5 Years	\$ 1,044	Yes
(D) Metal Light Poles & Posts Painting	\$ 1,725	3 Years	5 Years	\$ 1,906	Yes
(D) Stucco Walls Painting	\$ 6,600	7 Years	10 Years	\$ 8,060	Yes
(D) Stucco Walls Repairs	\$ 330	8 Years	10 Years	\$ 413	Yes
Pool & Spa					
(D) Pool Resurfacing	\$ 7,600	1 Years	10 Year	\$ 7,989	Yes
(D) Pool Chemical System Replacement	\$ 550	11 Years	15 Years	\$ 742	Yes

Desert Mountain at High Desert Funding Study Expense Item Summary - Continued

Reserve Items	Current Cost When New	Estimated Remaining Life	Expected Life When New	First Replacement Cost	Repeating Item?
(D) Pool Heater Replacement	\$ 4,704	5 Years	10 Years	\$ 5,464	Yes
(D) Pool/Spa Filters Replacement	\$ 4,000	10 Years	20 Years	\$ 5,265	Yes
(D) Pool/Spa Pumps Replacement	\$ 4,500	4 Years	7 Years	\$ 5,099	Yes
(D) Spa Resurfacing	\$ 2,081	4 Years	10 Years	\$ 2,358	Yes
(D) Spa Heater Replacement	\$ 1,800	1 Years	10 Year	\$ 1,892	Yes
(D) Water Heater Pool Area Replacement	\$ 1,100	0 Years	10 Years	\$ 1,128	Yes
Refurbishment					
(D) Pool House Restrooms Refurbishment	\$ 2,520	11 Years	15 Years	\$ 3,401	Yes
(D) Pool House Shower Refurbishment	\$ 2,100	8 Years	12 Years	\$ 2,629	Yes
(D) Pool House/Ramada Refurbishment	\$ 4,250	2 Years	20 Years	\$ 4,581	Yes
Roofing					
(D) Pool House Flat Roof Replacement	\$ 1,440	11 Years	15 Years	\$ 1,943	Yes
(D) Pool House/Ramada Tile Roof Replacement	\$ 6,643	11 Years	30 Years	\$ 8,964	Yes
Signage					
(D) Traffic & Street Name Signs Replacement	\$ 1,158	2 Years	6 Years	\$ 1,248	Yes
Walls & Fences					
(D) Metal Gates Replacement	\$ 7,541	11 Years	30 Years	\$ 10,175	Yes
(D) Pool Metal Gates Replacement	\$ 1,500	21 Years	30 Years	\$ 2,598	Yes
(D) Pool Metal Fencing Replacement	\$ 12,012	10 Years	30 Years	\$ 15,810	Yes

Missing table information is identical to the first printed information above.

Months Remaining in Fiscal Calendar Year 2021: 12

Expected annual inflation: 2.50%

Interest earned on reserve funds: 0.20%

Desert Mountain at High Desert Funding Study Expense Item Summary - Continued

Initial Reserve: \$ 285,331

(D) Indicates Tabulated Reserve Item Description.

Reserve Item Descriptions

Category	Reserve Item Name	Reserve Item Description
Access Control	Access System Replacement	<p>Component consists of replacement of:</p> <p>1 - "Doorking" directory access system</p> <p>Client has advised that the speaker microphone on this unit was replaced in FY2017-18 at a cost of \$350.45.</p> <p>Cost source: ParkPro</p>
	Camera System Replacement	<p>Client has advised that a security camera system was installed in October, 2012 at a total cost of \$6,486.76. Future replacement funding has been included on a 10-year cycle.</p> <p>Cost source: Client</p>
	Card Access System Pool Replacement	<p>Component consists of replacement of:</p> <p>2 - "Doorking" card reader gate access systems.</p> <p>At client's request, we increased the remaining useful life of this component to 5 years in the 2016 update.</p> <p>Cost source: ParkPro</p>
	High Desert Gate Operators Refurbishment	<p>Component consists of refurbishment of the following "High Desert" gate operators:</p> <p>3 - "Elite" gate operators</p> <p>Refurbishment includes motor rebuild and arm replacement.</p> <p>Cost source: ParkPro</p>

Desert Mountain at High Desert Funding Study Expense Item Summary - Continued

Category	Reserve Item Name	Reserve Item Description
Access Control	High Desert Gate Operators Replacement	<p>Component consists of replacement of the following "High Desert" gate operators:</p> <p>3 - "Elite" gate operators</p> <p>Client has advised that these operators were replaced in 2009.</p> <p>Cost source: ParkPro</p>
	Imperata Gate Operators Refurbishment	<p>Component consists of refurbishment of: the following "Imperata" gate operators:</p> <p>2 - "Elite" gate operators</p> <p>Refurbishment includes motor rebuild and arm replacement.</p> <p>Cost source: ParkPro</p>
	Imperata Gate Operators Replacement	<p>Component consists of replacement of the following "Imperata" gate operators:</p> <p>2 - "Elite" gate operators</p> <p>Client has advised that these operators were replaced in 2009.</p> <p>Cost source: ParkPro</p>
	Keypad Pedestrian Gate Replacement	<p>We noted a digital keypad at the main pedestrian access gate during our March 19, 2021 site visit, and have added funding every 10 years for as-needed replacement.</p> <p>Cost source: Park Pro</p>
	Pool Keypad Access Systems Replacement	<p>Component includes replacement of the following pool gate keypad access systems:</p> <p>4 - push-button keypads</p> <p>Client has advised that the west pool gate sensor was replaced in July 2013 at a cost of \$1,036.83.</p> <p>Cost source: ParkPro</p>

Desert Mountain at High Desert Funding Study Expense Item Summary - Continued

Category	Reserve Item Name	Reserve Item Description
Asphalt & Concrete	Asphalt Cracksealing & Minor Repairs	<p>Client has advised that significant hot-rubber cracksealing was performed in 2014 at a cost of 6,019.82. Accordingly, we have increased the reserves amount for this component to \$6,020.00 for future cycles.</p> <p>Client has advised that \$8,744.02 was spent for asphalt removal/replacement in FY2020-21.</p> <p>Cost source: Client</p>
	Asphalt Resurfacing	<p>Component consists of:</p> <p>Overlay: 190,090 sq. ft. @ \$1.30 sq. ft.</p> <p>Valve cover lifts: 5 @ \$350</p> <p>Manhole cover lifts: 17 @ \$500</p> <p>Metal pylons: 6 @ \$200</p> <p>Equipment mobilization: 1 @ \$3,000</p> <p>Cost source: Sunland Asphalt</p>
	Asphalt Sealcoating	<p>Component consists of approximately 190,090 sq. ft. of asphalt sealcoating. Client has advised that sealcoating was last performed in June, 2013 at a total cost of \$27,875.64.</p> <p>Client has advised that sealcoating will be performed in 2018 at an approximate cost of \$29,643.</p> <p>Cost source: Ace Asphalt</p>
	Concrete Partial Replacement	<p>Component consists of 500 sq. ft. partial replacement of concrete flatwork, including walkway, curbing and steps on a 5-year cycle.</p> <p>Client has advised that \$4,322.80 was spent on concrete repairs in 2015.</p> <p>Client has advised that \$28,735.60 was spent in FY2017-18, and \$17,521.25 was spent in FY2018-19 on concrete repairs.</p> <p>Cost source: AFI Database</p>

Desert Mountain at High Desert Funding Study Expense Item Summary - Continued

Category	Reserve Item Name	Reserve Item Description
Asphalt & Concrete	Concrete Repairs/Resurfacing Pool Deck	<p>Component consists of repairs/resurfacing of 3,670 sq. ft. of concrete deck. Client has advised that this deck was replaced in 2010 in conjunction with the pool area refurbishment. Accordingly the remaining useful life for this component has been adjusted to reflect this replacement.</p> <p>Some cracking and staining was noted during our March 19, 2021 site visit.</p> <p>Cost source: Client</p>
	Concrete Replacement Pool Deck	<p>Component consists of replacement of 3,670 sq. ft. of concrete deck. Client has advised that this deck was replaced in 2011 at a cost of approximately \$22,000. For purposes of this report, we have used this cost as a basis for future replacement.</p> <p>Cost source: Client</p>
Furniture	Pool Area Ramada Furniture Replacement	<p>Component consists of replacement of the following park furniture:</p> <ul style="list-style-type: none"> 2 - concrete picnic tables @ \$800 ea. 2 - metal and wood picnic tables @ \$800 ea. 1 - concrete trash can with ashtray @ \$275 ea. <p>We are not funding for the charcoal pedestal bbq units, as client has advised these will not be replaced at the end of their useful life.</p> <p>At client's request, we increased the useful life and remaining useful life of this component to 35 years in the 2016 update.</p> <p>Cost source: AFI Database</p>
	Pool Deck Furniture Replacement	<p>Component consists of replacement of:</p> <ul style="list-style-type: none"> 30 - strapped chaise lounges <p>At client's request, we have phased replacement of this furniture at a rate of 50% every 4 years,</p> <p>At client's request, we increased the remaining useful life of this component to 3 years in the 2016 update.</p> <p>Cost source: AFI Database</p>

Desert Mountain at High Desert Funding Study Expense Item Summary - Continued

Category	Reserve Item Name	Reserve Item Description
Infrastructure	Sewer Connection Partial Replacement	<p>Client has advised that the city's responsibility for sewer line repairs ends at the entry gate. Infrastructure items such as sewer connections generally last the life of the project. However, we recommend that the Association consider including funding for a portion of unplanned repairs over a 30 year period.</p> <p>This sewer line repair would entail asphalt and/or concrete saw-cutting. The actual cost of such repairs is difficult to determine without an engineering study, but based on our experience with other communities in the southwest, we are including \$5,000 in funding for every 20 homes.</p> <p>At client's request, we increased the useful life and remaining useful life of this component to 35 years in the 2016 update.</p>
Landscaping & Irrigation	Irrigation Backflow Preventers Unfunded	<p>Component consists of:</p> <p>3 - 1" "Febco" backflow devices</p> <p>Annual testing of backflow preventers is required per code.</p> <p>Funding for this component has been excluded, as it is now included within the master association's report.</p> <p>Cost source: Benjamin Miller, Heads Up Landscape Contractors</p>
	Irrigation Street Drains Replacement	<p>Component consists of replacement of:</p> <p>19 - concrete deep-well drains with steel grates</p> <p>At client's request, we increased the useful life and remaining useful life of this component to 35 years in the 2016 update.</p> <p>Cost source: AFI Database</p>
	Irrigation Systems Replacement	<p>Component consists of :</p> <p>3 - small drip irrigation systems</p> <p>Cost source: Benjamin Miller, Heads Up Landscape Contractors</p>
	Irrigation Controllers Replacement Unfunded	<p>The Association's landscape maintenance contractor has advised that the three irrigation timeclocks included in the prior study have been removed. Irrigation is now controlled by the master association's system.</p>

Desert Mountain at High Desert Funding Study Expense Item Summary - Continued

Category	Reserve Item Name	Reserve Item Description
Landscaping & Irrigation	Landscaping Decomposed Granite Replenishment	<p>Component consists of replenishment of common area decomposed granite on a 10-year cycle.</p> <p>Cost source: Benjamin Miller, Heads Up Landscape Contractors</p>
	Landscaping Plant Materials Replacement	<p>Component includes replacement of plants, trees, bushes and sod, as necessary. Client has advised that \$3,221.77 was spent in March, 2013 for tree replacement.</p> <p>Cost source: Benjamin Miller, Heads Up Landscape Contractors</p>
Lighting	Bollard Lights Replacement	<p>Component consists of replacement of:</p> <p>12 - 30" high, low voltage bollard light standards</p> <p>located at the pool area.</p> <p>Cost source: National Construction Estimator</p>
	Street Lights Replacement	<p>Component consists of replacement of:</p> <p>21 - low-cast street lights</p> <p>Cost indicated is for replacement of light fixture only. With routine painting maintenance, the metal light poles should last the life of the project.</p> <p>At client's request, we increased the useful life and remaining useful life of this component to 35 years in the 2016 update.</p> <p>Cost source: W. Grainger, Inc.</p>

Desert Mountain at High Desert Funding Study Expense Item Summary - Continued

Category	Reserve Item Name	Reserve Item Description
Painting & Repairs	Metal Fence Pool Perimeter Painting	<p>Component consists of painting:</p> <p>420 lin. ft. of 6' high metal fencing</p> <p>2 - 3' x 5' metal pedestrian access gates</p> <p>metal handrailings</p> <p>Client has advised that this fencing was last painted in 2014 at a cost of \$457.08.</p> <p>Paint peeling on the metal handrailing leading to the pool area was noted during our September 6, 2017 site visit. This should be addressed immediately (scraped and painted) to prolong the useful life of the metal.</p> <p>Cost source: Advanced Painting & Contracting</p>
	Metal Gates Painting	<p>Component consists of painting:</p> <p>1 - 15' x 6' metal gate x 2 sides</p> <p>1 - 16' x 6' metal gate x 2 sides</p> <p>1 - 17' x 6' metal gate x 2 sides</p> <p>2 - 11' x 6' metal gates x 2 sides</p> <p>2 - 3' x 5' metal gates x 2 sides</p> <p>2 - 3' x 6' metal gates x 2 sides</p> <p>Client has advised that these metal gates were last painted in August, 2012.</p> <p>Some rusting on gates was noted during our September 6, 2017 site visit. This should be addressed immediately to prolong the useful life of the metal.</p> <p>Cost source: Advanced Painting & Contracting</p>

Desert Mountain at High Desert Funding Study Expense Item Summary - Continued

Category	Reserve Item Name	Reserve Item Description
Painting & Repairs	Metal Light Poles & Posts Painting	<p>Funding has been included for periodic painting of the metal street light poles and bollard fixtures at the pool area. These metal surfaces should be repainted regularly to extend the useful life of the poles:</p> <p>19 - street light poles painting @ \$75 ea. 12 - bollard light posts painting @ \$25 ea.</p> <p>The pool-area bollard lights were in need of painting at the time of our September 6, 2017 site visit.</p> <p>Cost source: Advanced Painting & Contracting</p>
	Stucco Walls Painting	<p>Component consists of painting approximately 2,750 lin. ft. of stucco walls.</p> <p>Cost source: Advanced Painting & Contracting</p>
	Stucco Walls Repairs	<p>Funding has been included for repairs to 2% of the total stucco wall area in conjunction with each stucco painting cycle.</p> <p>Client has advised of the following wall repairs:</p> <p>2014: common wall repairs - \$349.53 2015: sidewall repairs - \$3,777.10</p> <p>Client has advised that \$9,202 was spent for stucco repairs in FY2017-18.</p> <p>Client has advised that \$13,673.17 was spent for stucco repairs in FY2020-21.</p> <p>Cost source: Advanced Painting & Contracting</p>
Pool & Spa	Pool Resurfacing	<p>Component consists of resurfacing of one 150 lf perimeter swimming pool (approx. 1,060 sq. ft. of gunnite). Client has advised that pool resurfacing was performed in 2011 at a cost of approximately \$7,600. For purposes of this report, we have used this cost as a basis for future replacement.</p> <p>Cost source: Client</p>
	Pool Chemical System Replacement	<p>Component consists of replacement of:</p> <p>2 - chlorine/bromine chemical cylinders</p> <p>Cost source: Leslie's Pool Supplies</p>

Desert Mountain at High Desert Funding Study Expense Item Summary - Continued

Category	Reserve Item Name	Reserve Item Description
Pool & Spa	Pool Heater Replacement	<p>Component consists of replacement of:</p> <p>1 - "Raypak" gas pool heater</p> <p>Client has advised that the pool heater was replaced in July, 2014 at a total cost of \$4,703.72 and we have used this as the cost for future replacements.</p> <p>Client has advised that \$2,139.59 was spent in FY2020/21 for pool heater repairs.</p> <p>Cost source: Client</p>
	Pool/Spa Filters Replacement	<p>Component consists of replacement of:</p> <p>2 - "Clean & Clear Plus" cartridge pool filters @ \$1,400 ea.</p> <p>1 - "Clean & Clear Plus" cartridge spa filter @ \$1,200 ea.</p> <p>Client has advised that these filters were replaced in 2011. For purposes of this report, we have used the 2011 cost as a basis for future replacement.</p> <p>Cost source: Client</p>
	Pool/Spa Pumps Replacement	<p>Component consists of replacement of:</p> <p>4 - pool and spa pumps</p> <p>1 - 10.5 hp blower</p> <p>Client has advised that these components were replaced in 2011.</p> <p>Cost source: Prior reserve study</p>
	Spa Resurfacing	<p>Component consists of resurfacing of one 35 lf perimeter spa (approx. 230 sq. ft. of gunnite). Client has advised that spa resurfacing was performed in 2014 at a cost of approximately \$2,080.80. For purposes of this report, we have used this cost as a basis for future replacement.</p> <p>Cost source: Client</p>

Desert Mountain at High Desert Funding Study Expense Item Summary - Continued

Category	Reserve Item Name	Reserve Item Description
Pool & Spa	Spa Heater Replacement	<p>Component consists of replacement of:</p> <p>1 - "Raypak" 199,500 BTU heater</p> <p>Client has advised that this spa heater was replaced in 2011.</p> <p>Cost source: AFI Database</p>
	Water Heater Pool Area Replacement	<p>Funding for as-needed replacement of:</p> <p>1 - American Proline" 40-gallon, gas water heater</p> <p>located in the pool equipment room has been included on a 10-year cycle. We noted the manufacturing date on this unit was 1992. For safety purposes we are recommending immediate replacement of this unit.</p> <p>Cost indicated includes removal and disposal of old water heater.</p> <p>Cost source: americanwaterheater.com</p>
Refurbishment	Pool House Restrooms Refurbishment	<p>Component includes refurbishment of metal doors, concrete floors and metal stalls. Does not include replacement of plumbing fixtures.</p> <p>Cost source: National Construction Estimator</p>
	Pool House Shower Refurbishment	<p>Component includes removal and replacement of ceramic tile on outdoor shower. This tile appeared to be in good condition at the time of our site visit. Accordingly, we have increased the remaining useful life for this component.</p> <p>Cost source: National Construction Estimator</p>
	Pool House/Ramada Refurbishment	<p>Component includes repairs and painting of stucco siding and wood trim on pool buildings.</p> <p>Cost source: National Construction Estimator</p>
Roofing	Pool House Flat Roof Replacement	<p>Component includes replacement of approximately:</p> <p>320 sq. ft. of flat roofing</p> <p>Cost source: National Construction Estimator</p>

Desert Mountain at High Desert Funding Study Expense Item Summary - Continued

Category	Reserve Item Name	Reserve Item Description
Roofing	Pool House/Ramada Tile Roof Replacement	<p>Component includes replacement of approximately:</p> <p>730 sq. ft. of concrete tile roofing</p> <p>Cost estimate includes replacement of underlayment.</p> <p>Cost source: National Construction Estimator</p>
Signage	Traffic & Street Name Signs Replacement	<p>Component consists of replacement of 48 total traffic and street name signs within the community, at an average cost of \$96.50 per sign.</p> <p>Most of these signs appeared to be in good condition for their age. Accordingly, we have revised the funding for this component by setting replacement at a rate of 12 signs every 6 years.</p> <p>At client's request, we have increased the remaining useful life of this component to 10 years in this 2016 update.</p> <p>Client has advised that \$557 was spent for street sign replacement in FY2017-18.</p> <p>Cost source: AFI Database</p>
Walls & Fences	Metal Gates Replacement	<p>Component consists of replacement of:</p> <p>1 - 15' x 6' metal gate @ \$16.50 sq. ft.</p> <p>1 - 16' x 6' metal gate @ \$16.50 sq. ft.</p> <p>1 - 17' x 6' metal gate @ \$16.50 sq. ft.</p> <p>2 - 11' x 6' metal gates @ \$16.50 sq. ft.</p> <p>2 - 3' x 6' metal gates @ \$16.50 sq. ft.</p> <p>Cost source: AFI Database</p>
	Pool Metal Gates Replacement	<p>Client has advised that:</p> <p>2 - 3' x 5' metal pedestrian access gates @ \$750 ea.</p> <p>were replaced in 2012 in conjunction with the electronic runs for the new pool area security system.</p> <p>Cost source: Client</p>

Desert Mountain at High Desert Funding Study Expense Item Summary - Continued

Category	Reserve Item Name	Reserve Item Description
Walls & Fences	Pool Metal Fencing Replacement	<p>Component includes replacement of the following pool perimeter fencing:</p> <p>420 lin. ft. of 6' high metal fencing @ \$28.60 lin. ft.</p> <p>Client has advised that the two 3' x 5' pedestrian access gates were replaced in 2012 in conjunction with the electronic runs for the new security system, and we have included future replacement funding for these gates under a separate line item in this report.</p> <p>Cost source: AFI Database</p>

Desert Mountain at High Desert Reserve Study Expense Item Listing

Reserve Items	Unit Cost	No Units	Current Cost When New	Estimated Remaining Life	Expected Life When New	Fiscal Calendar Year	Estimated Future Cost
Access Control							
Access System Replacement	\$ 4,500 ea	1	\$ 4,500	7 Year	7 Years	2022	\$ 4,730
						2029	\$ 5,634
						2036	\$ 6,710
						2043	\$ 7,992
						2050	\$ 9,519
2057	\$ 11,337						
Camera System Replacement	\$ 6,487 ea	1	\$ 6,487	10 Year	10 Years	2022	\$ 6,819
						2032	\$ 8,754
						2042	\$ 11,237
						2052	\$ 14,425
Card Access System Pool Replacement	\$ 1,100 ea	2	\$ 2,200	7 Year	7 Years	2022	\$ 2,313
						2029	\$ 2,754
						2036	\$ 3,281
						2043	\$ 3,907
						2050	\$ 4,654
2057	\$ 5,543						
High Desert Gate Operators Refurbishment	\$ 900 ea	3	\$ 2,700	10 Years	10 Years	2029	\$ 3,380
						2039	\$ 4,339
						2049	\$ 5,571
						2059	\$ 7,151
High Desert Gate Operators Replacement	\$ 3,500 ea	3	\$ 10,500	20 Years	20 Years	2029	\$ 13,146
						2049	\$ 21,663
						2069	\$ 35,698
Imperata Gate Operators Refurbishment	\$ 900 ea	2	\$ 1,800	10 Years	10 Years	2029	\$ 2,254
						2039	\$ 2,893
						2049	\$ 3,714
						2059	\$ 4,767
Imperata Gate Operators Replacement	\$ 3,500 ea	2	\$ 7,000	20 Years	20 Years	2029	\$ 8,764
						2049	\$ 14,442
						2069	\$ 23,799

Desert Mountain at High Desert Reserve Study Expense Item Listing - Continued

Reserve Items	Unit Cost	No Units	Current Cost When New	Estimated Remaining Life	Expected Life When New	Fiscal Calendar Year	Estimated Future Cost
Keypad Pedestrian Gate Replacement	\$ 400 ea	1	\$ 400	8 Years	10 Years	2029	\$ 501
				10 Years		2039	\$ 643
						2049	\$ 825
						2059	\$ 1,059
Pool Keypad Access Systems Replacement	\$ 400 ea	4	\$ 1,600	1 Year	7 Years	2022	\$ 1,682
				7 Year		2029	\$ 2,003
						2036	\$ 2,386
						2043	\$ 2,842
						2050	\$ 3,385
						2057	\$ 4,031
Asphalt & Concrete							
Asphalt Cracksealing & Minor Repairs	\$ 6,020 ea	1	\$ 6,020	2 Years	5 Years	2023	\$ 6,488
				5 Years		2028	\$ 7,351
						2033	\$ 8,329
						2038	\$ 9,437
						2043	\$ 10,692
						2048	\$ 12,114
						2053	\$ 13,725
Asphalt Resurfacing	\$ 261,567 ea	1	\$ 261,567	13 Years	30 Years	2034	\$ 371,046
				30 Years		2064	\$ 784,892
Asphalt Sealcoating	\$ 29,643 ea	1	\$ 29,643	2 Years	5 Years	2023	\$ 31,949
				5 Years		2028	\$ 36,199
						2033	\$ 41,013
						2038	\$ 46,468
						2043	\$ 52,648
						2048	\$ 59,650
Concrete Partial Replacement	\$ 17.50 / ft ²	500 ft ²	\$ 8,750	3 Years	5 Years	2024	\$ 9,669
				5 Years		2029	\$ 10,955
						2034	\$ 12,412

Desert Mountain at High Desert Reserve Study Expense Item Listing - Continued

Reserve Items	Unit Cost	No Units	Current Cost When New	Estimated Remaining Life	Expected Life When New	Fiscal Calendar Year	Estimated Future Cost
Concrete Partial Replacement	\$ 17.50 / ft ²	500 ft ²	\$ 8,750	5 Years	5 Years	2039	\$ 14,063
						2044	\$ 15,934
						2049	\$ 18,053
						2054	\$ 20,454
Concrete Repairs/Resurfacing Pool Deck	\$ 4.50 / ft ²	3670 ft ²	\$ 16,515	0 Years	10 Years	2021	\$ 16,933
				10 Years		2031	\$ 21,736
						2041	\$ 27,903
						2051	\$ 35,818
Concrete Replacement Pool Deck	\$ 22,000 ea	1	\$ 22,000	20 Years	30 Years	2041	\$ 37,170
				30 Years		2071	\$ 78,627
Furniture							
Pool Area Ramada Furniture Replacement	\$ 3,475 ea	1	\$ 3,475	30 Years	35 Years	2051	\$ 7,537
Pool Deck Furniture Replacement	\$ 175 ea	17	\$ 2,975	2 Years	4 Years	2023	\$ 3,206
						2027	\$ 3,543
						2031	\$ 3,916
						2035	\$ 4,327
						2039	\$ 4,781
						2043	\$ 5,284
						2047	\$ 5,839
	2051	\$ 6,452					
Infrastructure							
Sewer Connection Partial Replacement	\$ 5,000 ea	9	\$ 45,000	30 Years	35 Years	2051	\$ 97,598
Landscaping & Irrigation							
Irrigation Backflow Preventers Unfunded	\$ 0.00 ea	1	\$ 0	35 Years	35 Years	2056	\$ 0

Desert Mountain at High Desert Reserve Study Expense Item Listing - Continued

Reserve Items	Unit Cost	No Units	Current Cost When New	Estimated Remaining Life	Expected Life When New	Fiscal Calendar Year	Estimated Future Cost
Irrigation Street Drains Replacement	\$ 1,380 ea	19	\$ 26,220	30 Years	35 Years	2051	\$ 56,867
Irrigation Systems Replacement	\$ 5,500 ea	3	\$ 16,500	17 Years 30 Years	30 Years	2038 2068	\$ 25,865 \$ 54,714
Irrigation Controllers Replacement Unfunded	\$ 0.00 ea	3	\$ 0	35 Years	35 Years	2056	\$ 0
Landscaping Decomposed Granite Replenishment	\$ 11,000 ea	1	\$ 11,000	3 Years	10 Years	2024	\$ 12,156
				10 Years		2034	\$ 15,604
						2044	\$ 20,031
						2054	\$ 25,713
Landscaping Plant Materials Replacement	\$ 8,500 ea	1	\$ 8,500	8 Years	10 Years	2029	\$ 10,642
				10 Years		2039	\$ 13,661
						2049	\$ 17,537
						2059	\$ 22,512
Lighting							
Bollard Lights Replacement	\$ 750 ea	12	\$ 9,000	11 Years	15 Years	2032	\$ 12,145
				15 Years		2047	\$ 17,664
						2062	\$ 25,691
Street Lights Replacement	\$ 695 ea	21	\$ 14,595	30 Years	35 Years	2051	\$ 31,654
Painting & Repairs							
Metal Fence Pool Perimeter Painting	\$ 0.80 / ft ²	2550 ft ²	\$ 2,040	3 Years	5 Years	2024	\$ 2,254
				5 Years		2029	\$ 2,554
						2034	\$ 2,894
						2039	\$ 3,279
						2044	\$ 3,715
	2049	\$ 4,209					

Desert Mountain at High Desert Reserve Study Expense Item Listing - Continued

Reserve Items	Unit Cost	No Units	Current Cost When New	Estimated Remaining Life	Expected Life When New	Fiscal Calendar Year	Estimated Future Cost
Metal Fence Pool	\$ 0.80 / ft ²	2550 ft ²	\$ 2,040	5 Years	5 Years	2054	\$ 4,769
Metal Gates Painting	\$ 0.80 / ft ²	1211 ft ²	\$ 969	5 Years	5 Years	2023	\$ 1,044
						2028	\$ 1,183
						2033	\$ 1,340
						2038	\$ 1,519
						2043	\$ 1,721
						2048	\$ 1,950
Metal Light Poles & Posts Painting	\$ 1,725 ea	1	\$ 1,725	5 Years	5 Years	2024	\$ 1,906
						2029	\$ 2,160
						2034	\$ 2,447
						2039	\$ 2,772
						2044	\$ 3,141
						2049	\$ 3,559
Stucco Walls Painting	\$ 0.80 / ft ²	8250 ft ²	\$ 6,600	10 Years	10 Years	2028	\$ 8,060
						2038	\$ 10,346
						2048	\$ 13,281
						2058	\$ 17,049
Stucco Walls Repairs	\$ 2.00 / ft ²	165 ft ²	\$ 330	10 Years	10 Years	2029	\$ 413
						2039	\$ 530
						2049	\$ 681
						2059	\$ 874
Pool & Spa							
Pool Resurfacing	\$ 7,600 ea	1	\$ 7,600	10 Year	10 Years	2022	\$ 7,989
						2032	\$ 10,256
						2042	\$ 13,165
						2052	\$ 16,900
Pool Chemical System	\$ 275 ea	2	\$ 550	15 Years	15 Years	2032	\$ 742
						2047	\$ 1,079

Desert Mountain at High Desert Reserve Study Expense Item Listing - Continued

Reserve Items	Unit Cost	No Units	Current Cost When New	Estimated Remaining Life	Expected Life When New	Fiscal Calendar Year	Estimated Future Cost
Pool Chemical	\$ 275 ea	2	\$ 550	15 Years	15 Years	2062	\$ 1,570
Pool Heater Replacement	\$ 4,704 ea	1	\$ 4,704	10 Years	10 Years	2026	\$ 5,464
						2036	\$ 7,015
						2046	\$ 9,005
						2056	\$ 11,559
Pool/Spa Filters Replacement	\$ 4,000 ea	1	\$ 4,000	10 Years	20 Years	2031	\$ 5,265
				20 Years		2051	\$ 8,675
Pool/Spa Pumps Replacement	\$ 900 ea	5	\$ 4,500	4 Years	7 Years	2025	\$ 5,099
				7 Years		2032	\$ 6,072
						2039	\$ 7,232
						2046	\$ 8,614
						2053	\$ 10,260
Spa Resurfacing	\$ 2,081 ea	1	\$ 2,081	4 Years	10 Years	2025	\$ 2,358
				10 Years		2035	\$ 3,027
						2045	\$ 3,885
						2055	\$ 4,988
Spa Heater Replacement	\$ 1,800 ea	1	\$ 1,800	1 Year	10 Years	2022	\$ 1,892
				10 Year		2032	\$ 2,429
						2042	\$ 3,118
						2052	\$ 4,003
Water Heater Pool Area Replacement	\$ 1,100 ea	1	\$ 1,100	0 Years	10 Years	2021	\$ 1,128
				10 Years		2031	\$ 1,448
						2041	\$ 1,858
						2051	\$ 2,386
Refurbishment							
Pool House Restrooms Refurbishment	\$ 14.00 / ft ²	180 ft ²	\$ 2,520	11 Years	15 Years	2032	\$ 3,401
				15 Years		2047	\$ 4,946
						2062	\$ 7,193
Pool House Shower Refurbishment	\$ 14.00 / ft ²	150 ft ²	\$ 2,100	8 Years	12 Years	2029	\$ 2,629
				12 Years		2041	\$ 3,548

Desert Mountain at High Desert Reserve Study Expense Item Listing - Continued

Reserve Items	Unit Cost	No Units	Current Cost When New	Estimated Remaining Life	Expected Life When New	Fiscal Calendar Year	Estimated Future Cost
Pool House Shower	\$ 14.00 / ft ²	150 ft ²	\$ 2,100	12 Years	12 Years	2053	\$ 4,788
Pool House/Ramada Refurbishment	\$ 4.25 / ft ²	1000 ft ²	\$ 4,250	2 Years		2023	\$ 4,581
				20 Years	20 Years	2043	\$ 7,548
						2063	\$ 12,439
Roofing							
Pool House Flat Roof Replacement	\$ 4.50 / ft ²	320 ft ²	\$ 1,440	11 Years		2032	\$ 1,943
				15 Years	15 Years	2047	\$ 2,826
						2062	\$ 4,111
Pool House/Ramada Tile Roof Replacement	\$ 9.10 / ft ²	730 ft ²	\$ 6,643	11 Years		2032	\$ 8,964
				30 Years	30 Years	2062	\$ 18,963
Signage							
Traffic & Street Name Signs Replacement	\$ 96.50 ea	12	\$ 1,158	2 Years		2023	\$ 1,248
						2029	\$ 1,450
						2035	\$ 1,684
				6 Years	6 Years	2041	\$ 1,956
						2047	\$ 2,273
						2053	\$ 2,640
Walls & Fences							
Metal Gates Replacement	\$ 16.50 / ft ²	457 ft ²	\$ 7,541	11 Years		2032	\$ 10,175
				30 Years	30 Years	2062	\$ 21,525
Pool Metal Gates Replacement	\$ 750 ea	2	\$ 1,500	21 Years		2042	\$ 2,598
				30 Years	30 Years	2072	\$ 5,497
Pool Metal Fencing Replacement	\$ 12,012 ea	1	\$ 12,012	10 Years		2031	\$ 15,810
				30 Years	30 Years	2061	\$ 33,443

Missing table information is identical to the first printed information above.

Months Remaining in Fiscal Calendar Year 2021: 12

Expected annual inflation: 2.50% Interest earned on reserve funds: 0.20% Initial Reserve: \$ 285,331

Desert Mountain at High Desert Funding Study Modified Cash Flow Analysis

Fiscal Calendar Year	Annual Dues	Annual Interest	Salvage	Annual Expenses	Annual Income Tax	Net Reserve Funds	% Funded	Fully Funded Balance
2021	\$ 27,766	\$ 596		\$ 18,060		\$ 295,632	91.7%	\$ 322,441
2022	\$ 41,367	\$ 629		\$ 25,426		\$ 312,203	90.2%	\$ 346,251
2023	\$ 41,367	\$ 662		\$ 48,517		\$ 305,715	83.9%	\$ 364,290
2024	\$ 45,057	\$ 653		\$ 25,985		\$ 325,440	90.0%	\$ 361,560
2025	\$ 45,057	\$ 692		\$ 7,456		\$ 363,733	94.9%	\$ 383,404
2026	\$ 50,583	\$ 774		\$ 5,464		\$ 409,626	96.2%	\$ 425,909
2027	\$ 50,583	\$ 866		\$ 3,543		\$ 457,531	96.8%	\$ 472,605
2028	\$ 57,683	\$ 968		\$ 52,792		\$ 463,389	88.5%	\$ 523,501
2029	\$ 57,683	\$ 980		\$ 69,241		\$ 452,811	86.0%	\$ 526,342
2030	\$ 60,200	\$ 961				\$ 513,971	100.0	\$ 513,727
2031	\$ 60,200	\$ 1,083		\$ 48,174		\$ 527,080	92.0%	\$ 572,924
2032	\$ 55,548	\$ 1,105		\$ 64,882		\$ 518,851	88.6%	\$ 585,426
2033	\$ 55,548	\$ 1,089		\$ 50,682		\$ 524,805	90.1%	\$ 582,410
2034	\$ 72,083	\$ 1,116		\$ 404,403		\$ 193,600	32.5%	\$ 595,109
2035	\$ 72,083	\$ 453		\$ 9,038		\$ 257,099	104.0	\$ 247,134
2036	\$ 74,369	\$ 582		\$ 19,392		\$ 312,659	105.3	\$ 297,029
2037	\$ 74,369	\$ 694				\$ 387,722	114.4	\$ 338,908
2038	\$ 50,953	\$ 822		\$ 93,634		\$ 345,863	85.8%	\$ 403,099
2039	\$ 50,953	\$ 738		\$ 54,195		\$ 343,359	91.7%	\$ 374,347
2040	\$ 80,223	\$ 760				\$ 424,343	109.7	\$ 386,747
2041	\$ 80,223	\$ 922		\$ 72,435		\$ 433,053	94.9%	\$ 456,506
2042	\$ 83,315	\$ 943		\$ 30,119		\$ 487,191	107.0	\$ 455,319
2043	\$ 83,315	\$ 1,051		\$ 92,634		\$ 478,923	96.0%	\$ 499,048
2044	\$ 85,504	\$ 1,036		\$ 42,820		\$ 522,643	108.6	\$ 481,383
2045	\$ 85,504	\$ 1,124		\$ 3,885		\$ 605,386	117.3	\$ 515,979
2046	\$ 88,610	\$ 1,292		\$ 17,619		\$ 677,669	114.3	\$ 593,048
2047	\$ 88,610	\$ 1,437		\$ 34,627		\$ 733,088	111.1	\$ 659,705
2048	\$ 48,689	\$ 1,511		\$ 86,995		\$ 696,293	97.7%	\$ 712,372
2049	\$ 48,689	\$ 1,437		\$ 90,254		\$ 656,165	91.8%	\$ 714,487
2050	\$ 90,190	\$ 1,395		\$ 17,557		\$ 730,193	102.1	\$ 715,168
2051	\$ 90,190	\$ 1,543		\$ 246,988		\$ 574,938	72.6%	\$ 792,300
2052	\$ 68,066	\$ 1,212		\$ 35,328		\$ 608,889	97.2%	\$ 626,569
Totals :	\$ 2,064,580	\$ 31,126	\$ 0	\$ 1,772,148	\$ 0			

The cash distribution shown in this table applies to repair and replacement cash reserves only.

Basis of Funding Study - Modified Cash Flow

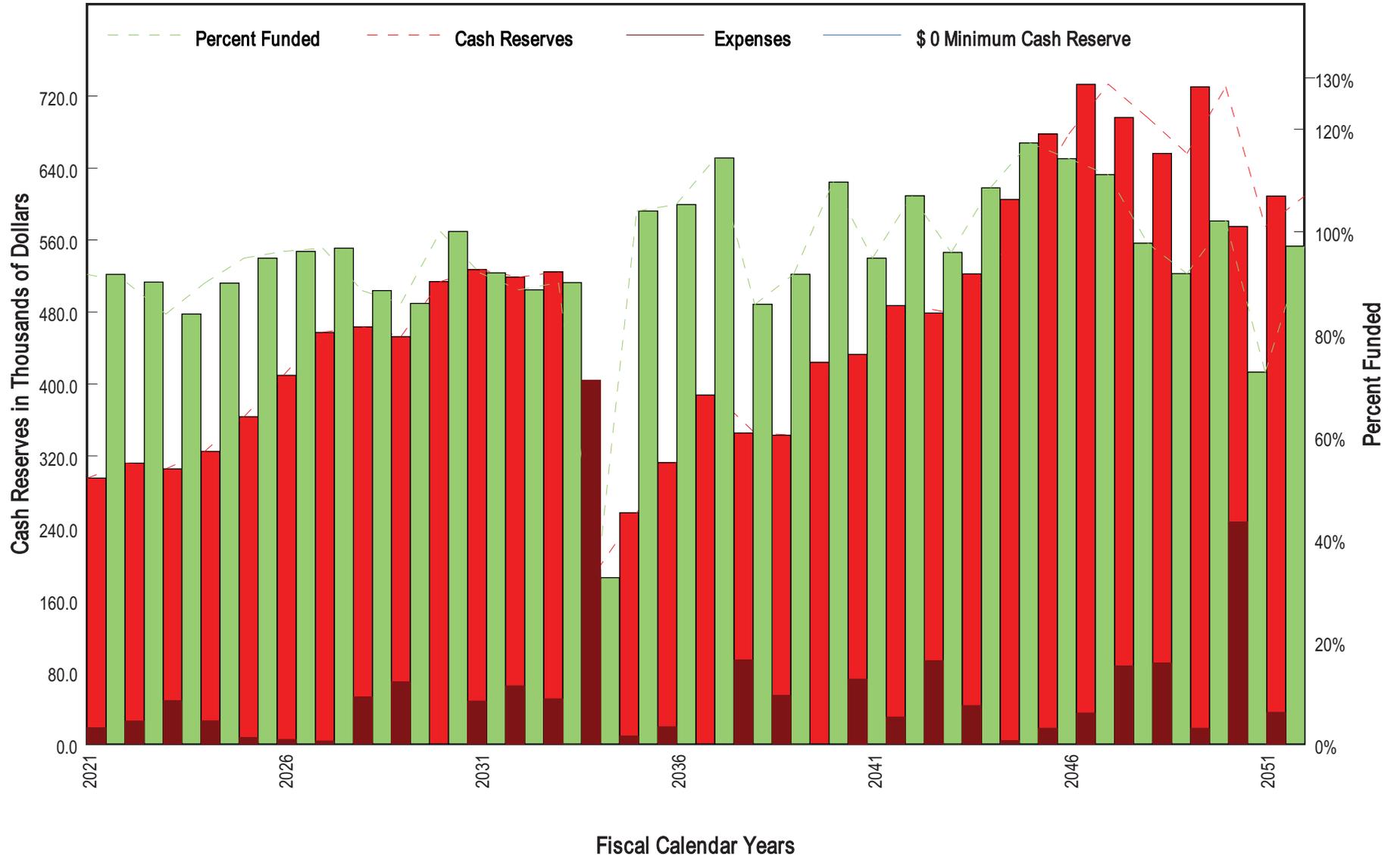
Cash reserves have been set to a minimum of \$ 0

Desert Mountain at High Desert Funding Study Cash Flow by Fiscal Calendar Year - Continued

Cash Flow has been modified with the forced Fixed Payments.

Months Remaining in Fiscal Calendar Year 2021: 12 Inflation = 2.50 % Interest = 0.20 %
Study Life = 31 years Initial Reserve Funds = \$ 285,330.79 Final Reserve Value = \$ 608,889.22
Annual Payments Held Constant for 2 years

Desert Mountain at High Desert Funding Study Cash Flow by Fiscal Calendar Year - Continued



Desert Mountain at High Desert Modified Reserve Dues Summary

Projected Dues by Month and by Fiscal Calendar Year

Fiscal Calendar Year	Member Monthly Operations Payment	Member Monthly Reserve Payment	Member Total Monthly Payment	Member Total Annual Payment	Monthly Reserve Payment	Annual Reserve Payment
2021	NA	\$ 12.85	\$ 12.85	\$ 154.26	\$ 2,314	\$ 27,766
2022	NA	\$ 19.15	\$ 19.15	\$ 229.82	\$ 3,447	\$ 41,367
2023	NA	\$ 19.15	\$ 19.15	\$ 229.82	\$ 3,447	\$ 41,367
2024	NA	\$ 20.86	\$ 20.86	\$ 250.32	\$ 3,755	\$ 45,057
2025	NA	\$ 20.86	\$ 20.86	\$ 250.32	\$ 3,755	\$ 45,057
2026	NA	\$ 23.42	\$ 23.42	\$ 281.02	\$ 4,215	\$ 50,583
2027	NA	\$ 23.42	\$ 23.42	\$ 281.02	\$ 4,215	\$ 50,583
2028	NA	\$ 26.70	\$ 26.70	\$ 320.46	\$ 4,807	\$ 57,683
2029	NA	\$ 26.70	\$ 26.70	\$ 320.46	\$ 4,807	\$ 57,683
2030	NA	\$ 27.87	\$ 27.87	\$ 334.44	\$ 5,017	\$ 60,200
2031	NA	\$ 27.87	\$ 27.87	\$ 334.44	\$ 5,017	\$ 60,200
2032	NA	\$ 25.72	\$ 25.72	\$ 308.60	\$ 4,629	\$ 55,548
2033	NA	\$ 25.72	\$ 25.72	\$ 308.60	\$ 4,629	\$ 55,548
2034	NA	\$ 33.37	\$ 33.37	\$ 400.46	\$ 6,007	\$ 72,083
2035	NA	\$ 33.37	\$ 33.37	\$ 400.46	\$ 6,007	\$ 72,083
2036	NA	\$ 34.43	\$ 34.43	\$ 413.16	\$ 6,197	\$ 74,369
2037	NA	\$ 34.43	\$ 34.43	\$ 413.16	\$ 6,197	\$ 74,369
2038	NA	\$ 23.59	\$ 23.59	\$ 283.07	\$ 4,246	\$ 50,953
2039	NA	\$ 23.59	\$ 23.59	\$ 283.07	\$ 4,246	\$ 50,953
2040	NA	\$ 37.14	\$ 37.14	\$ 445.69	\$ 6,685	\$ 80,223
2041	NA	\$ 37.14	\$ 37.14	\$ 445.69	\$ 6,685	\$ 80,223
2042	NA	\$ 38.57	\$ 38.57	\$ 462.86	\$ 6,943	\$ 83,315
2043	NA	\$ 38.57	\$ 38.57	\$ 462.86	\$ 6,943	\$ 83,315
2044	NA	\$ 39.59	\$ 39.59	\$ 475.02	\$ 7,125	\$ 85,504
2045	NA	\$ 39.59	\$ 39.59	\$ 475.02	\$ 7,125	\$ 85,504
2046	NA	\$ 41.02	\$ 41.02	\$ 492.28	\$ 7,384	\$ 88,610
2047	NA	\$ 41.02	\$ 41.02	\$ 492.28	\$ 7,384	\$ 88,610
2048	NA	\$ 22.54	\$ 22.54	\$ 270.49	\$ 4,057	\$ 48,689
2049	NA	\$ 22.54	\$ 22.54	\$ 270.49	\$ 4,057	\$ 48,689
2050	NA	\$ 41.75	\$ 41.75	\$ 501.06	\$ 7,516	\$ 90,190
2051	NA	\$ 41.75	\$ 41.75	\$ 501.06	\$ 7,516	\$ 90,190

Desert Mountain at High Desert Funding Study Payment Summary by Fiscal Calendar Year - Continued

Fiscal Calendar Year	Member Monthly Operations Payment	Member Monthly Reserve Payment	Member Total Monthly Payment	Member Total Annual Payment	Monthly Reserve Payment	Annual Reserve Payment
2052	NA	\$ 31.51	\$ 31.51	\$ 378.15	\$ 5,672	\$ 68,066

Dues Summary has been modified with forced Fixed Payments.

In the context of the Reserve Payment Summary, the "Annual Reserve Payment" corresponds with the "Annual Revenue" in the Cash Flow report.

Number of Payment Months in Fiscal Calendar Year 2021: 12

Number of Years of Constant Payments: 2

No of Dues Paying Members: 180

Desert Mountain at High Desert Funding Adjusted Revenue by Fiscal Calendar Year

Item Name	FY 2021	FY 2022	FY 2023	FY 2024	FY 2025	FY 2026	FY 2027	FY 2028	FY 2029	FY 2030	FY 2031	FY 2032	FY 2033	FY 2034	FY 2035	FY 2036
Reserve Category : Access Control																
Access System Replacement	\$ 644	\$ 1,136	\$ 430	\$ 506	\$ 519	\$ 585	\$ 587	\$ 669	\$ 657	\$ 813	\$ 813	\$ 746	\$ 738	\$ 941	\$ 938	\$ 965
Camera System Replacement	\$ 929	\$ 1,637	\$ 466	\$ 549	\$ 563	\$ 635	\$ 637	\$ 726	\$ 713	\$ 740	\$ 740	\$ 679	\$ 863	\$ 1,100	\$ 1,097	\$ 1,128
Card Access System Pool Replacement	\$ 315	\$ 555	\$ 210	\$ 248	\$ 254	\$ 286	\$ 287	\$ 327	\$ 322	\$ 397	\$ 397	\$ 364	\$ 361	\$ 459	\$ 458	\$ 471
High Desert Gate Operators Refurbishment	\$ 102	\$ 179	\$ 200	\$ 236	\$ 242	\$ 273	\$ 273	\$ 311	\$ 306	\$ 367	\$ 367	\$ 337	\$ 334	\$ 425	\$ 424	\$ 436
High Desert Gate Operators Replacement	\$ 395	\$ 697	\$ 779	\$ 917	\$ 941	\$ 1,061	\$ 1,064	\$ 1,212	\$ 1,191	\$ 907	\$ 907	\$ 832	\$ 824	\$ 1,049	\$ 1,047	\$ 1,077
Imperata Gate Operators Refurbishment	\$ 68	\$ 119	\$ 133	\$ 157	\$ 161	\$ 182	\$ 182	\$ 208	\$ 204	\$ 244	\$ 244	\$ 224	\$ 222	\$ 283	\$ 282	\$ 290
Imperata Gate Operators Replacement	\$ 263	\$ 464	\$ 519	\$ 611	\$ 627	\$ 707	\$ 709	\$ 808	\$ 794	\$ 604	\$ 604	\$ 555	\$ 549	\$ 699	\$ 698	\$ 718
Keypad Pedestrian Gate Replacement	\$ 15	\$ 26	\$ 30	\$ 35	\$ 36	\$ 40	\$ 40	\$ 46	\$ 45	\$ 55	\$ 55	\$ 50	\$ 50	\$ 63	\$ 63	\$ 65
Pool Keypad Access Systems Replacement	\$ 229	\$ 404	\$ 153	\$ 180	\$ 184	\$ 208	\$ 209	\$ 238	\$ 234	\$ 289	\$ 289	\$ 265	\$ 262	\$ 334	\$ 333	\$ 343
Access Control Subtotal :	\$ 2,960	\$ 5,217	\$ 2,920	\$ 3,439	\$ 3,527	\$ 3,977	\$ 3,988	\$ 4,545	\$ 4,466	\$ 4,416	\$ 4,416	\$ 4,052	\$ 4,203	\$ 5,353	\$ 5,340	\$ 5,493
Reserve Category : Asphalt & Concrete																
Asphalt Cracksealing & Minor Repairs	\$ 588	\$ 1,037	\$ 1,160	\$ 926	\$ 950	\$ 1,072	\$ 1,075	\$ 1,224	\$ 1,364	\$ 1,415	\$ 1,415	\$ 1,299	\$ 1,286	\$ 1,855	\$ 1,851	\$ 1,904
Asphalt Resurfacing	\$ 7,133	\$ 12,573	\$ 14,060	\$ 16,547	\$ 16,978	\$ 19,150	\$ 19,209	\$ 21,875	\$ 21,498	\$ 22,313	\$ 22,313	\$ 20,482	\$ 20,271	\$ 25,821	\$ 25,027	\$ 25,735
Asphalt Sealcoating	\$ 2,898	\$ 5,109	\$ 5,713	\$ 4,561	\$ 4,680	\$ 5,278	\$ 5,295	\$ 6,029	\$ 6,714	\$ 6,968	\$ 6,968	\$ 6,396	\$ 6,330	\$ 9,137	\$ 9,117	\$ 9,375
Concrete Partial Replacement	\$ 657	\$ 1,158	\$ 1,295	\$ 1,525	\$ 1,416	\$ 1,597	\$ 1,602	\$ 1,825	\$ 1,793	\$ 2,109	\$ 2,109	\$ 1,936	\$ 1,916	\$ 2,440	\$ 2,759	\$ 2,837
Concrete Repairs/Resurfacing Pool Deck	\$ 4,617	\$ 1,035	\$ 1,158	\$ 1,362	\$ 1,398	\$ 1,577	\$ 1,582	\$ 1,801	\$ 1,770	\$ 1,837	\$ 1,837	\$ 2,165	\$ 2,143	\$ 2,730	\$ 2,724	\$ 2,801

Adjusted Revenue includes earned interest, tax adjustments, and salvage.

Desert Mountain at High Desert Funding Adjusted Revenue by Fiscal Calendar Year - Continued

Item Name	FY 2021	FY 2022	FY 2023	FY 2024	FY 2025	FY 2026	FY 2027	FY 2028	FY 2029	FY 2030	FY 2031	FY 2032	FY 2033	FY 2034	FY 2035	FY 2036
Concrete Replacement Pool Deck	\$ 473	\$ 834	\$ 932	\$ 1,097	\$ 1,126	\$ 1,270	\$ 1,274	\$ 1,450	\$ 1,425	\$ 1,480	\$ 1,480	\$ 1,358	\$ 1,344	\$ 1,712	\$ 1,708	\$ 1,757
Asphalt & Concrete Subtotal :	\$ 16,366	\$ 21,746	\$ 24,318	\$ 26,018	\$ 26,548	\$ 29,944	\$ 30,037	\$ 34,204	\$ 34,564	\$ 36,122	\$ 36,122	\$ 33,636	\$ 33,290	\$ 43,695	\$ 43,186	\$ 44,409
Reserve Category : Furniture																
Pool Area Ramada Furniture Replacement	\$ 64	\$ 114	\$ 127	\$ 149	\$ 153	\$ 173	\$ 173	\$ 198	\$ 194	\$ 201	\$ 201	\$ 185	\$ 183	\$ 233	\$ 233	\$ 239
Pool Deck Furniture Replacement	\$ 291	\$ 513	\$ 573	\$ 558	\$ 573	\$ 646	\$ 648	\$ 816	\$ 802	\$ 832	\$ 832	\$ 844	\$ 835	\$ 1,064	\$ 1,062	\$ 1,207
Furniture Subtotal :	\$ 355	\$ 627	\$ 700	\$ 707	\$ 726	\$ 819	\$ 821	\$ 1,014	\$ 996	\$ 1,033	\$ 1,033	\$ 1,029	\$ 1,018	\$ 1,297	\$ 1,295	\$ 1,446
Reserve Category : Infrastructure																
Sewer Connection Partial Replacement	\$ 833	\$ 1,468	\$ 1,642	\$ 1,932	\$ 1,983	\$ 2,236	\$ 2,243	\$ 2,554	\$ 2,510	\$ 2,606	\$ 2,606	\$ 2,392	\$ 2,367	\$ 3,015	\$ 3,009	\$ 3,094
Reserve Category : Landscaping & Irrigation																
Irrigation Backflow Preventers Unfunded																
Irrigation Street Drains Replacement	\$ 485	\$ 855	\$ 956	\$ 1,126	\$ 1,155	\$ 1,303	\$ 1,307	\$ 1,488	\$ 1,462	\$ 1,518	\$ 1,518	\$ 1,393	\$ 1,379	\$ 1,757	\$ 1,753	\$ 1,802
Irrigation Systems Replacement	\$ 385	\$ 679	\$ 759	\$ 893	\$ 917	\$ 1,034	\$ 1,037	\$ 1,181	\$ 1,161	\$ 1,205	\$ 1,205	\$ 1,106	\$ 1,094	\$ 1,394	\$ 1,391	\$ 1,430
Irrigation Controllers Replacement Unfunded																
Landscaping Decomposed Granite Replenishment	\$ 826	\$ 1,456	\$ 1,628	\$ 1,916	\$ 1,004	\$ 1,132	\$ 1,135	\$ 1,293	\$ 1,271	\$ 1,319	\$ 1,319	\$ 1,211	\$ 1,198	\$ 1,526	\$ 1,955	\$ 2,010
Landscaping Plant Materials Replacement	\$ 320	\$ 564	\$ 630	\$ 742	\$ 761	\$ 859	\$ 861	\$ 981	\$ 964	\$ 1,155	\$ 1,155	\$ 1,060	\$ 1,049	\$ 1,337	\$ 1,334	\$ 1,372
Landscaping & Irrigation Subtotal :	\$ 2,016	\$ 3,554	\$ 3,973	\$ 4,677	\$ 3,837	\$ 4,328	\$ 4,340	\$ 4,943	\$ 4,858	\$ 5,197	\$ 5,197	\$ 4,770	\$ 4,720	\$ 6,014	\$ 6,433	\$ 6,614
Reserve Category : Lighting																

Adjusted Revenue includes earned interest, tax adjustments, and salvage.

Desert Mountain at High Desert Funding Adjusted Revenue by Fiscal Calendar Year - Continued

Item Name	FY 2021	FY 2022	FY 2023	FY 2024	FY 2025	FY 2026	FY 2027	FY 2028	FY 2029	FY 2030	FY 2031	FY 2032	FY 2033	FY 2034	FY 2035	FY 2036
Bollard Lights Replacement	\$ 273	\$ 481	\$ 538	\$ 633	\$ 650	\$ 733	\$ 735	\$ 837	\$ 823	\$ 854	\$ 854	\$ 784	\$ 900	\$ 1,146	\$ 1,144	\$ 1,176
Street Lights Replacement	\$ 270	\$ 476	\$ 533	\$ 627	\$ 643	\$ 725	\$ 728	\$ 829	\$ 814	\$ 845	\$ 845	\$ 776	\$ 768	\$ 978	\$ 976	\$ 1,004
Lighting Subtotal :	\$ 543	\$ 957	\$ 1,071	\$ 1,260	\$ 1,293	\$ 1,458	\$ 1,463	\$ 1,666	\$ 1,637	\$ 1,699	\$ 1,699	\$ 1,560	\$ 1,668	\$ 2,124	\$ 2,120	\$ 2,180
Reserve Category : Painting & Repairs																
Metal Fence Pool Perimeter Painting	\$ 153	\$ 270	\$ 302	\$ 355	\$ 330	\$ 372	\$ 373	\$ 425	\$ 418	\$ 492	\$ 492	\$ 451	\$ 447	\$ 569	\$ 644	\$ 662
Metal Gates Painting	\$ 95	\$ 167	\$ 187	\$ 149	\$ 153	\$ 172	\$ 173	\$ 197	\$ 220	\$ 228	\$ 228	\$ 209	\$ 207	\$ 298	\$ 298	\$ 306
Metal Light Poles & Posts Painting	\$ 130	\$ 229	\$ 256	\$ 301	\$ 279	\$ 315	\$ 316	\$ 360	\$ 354	\$ 416	\$ 416	\$ 382	\$ 378	\$ 481	\$ 544	\$ 560
Stucco Walls Painting	\$ 273	\$ 481	\$ 537	\$ 632	\$ 649	\$ 732	\$ 734	\$ 836	\$ 842	\$ 874	\$ 874	\$ 802	\$ 794	\$ 1,012	\$ 1,009	\$ 1,038
Stucco Walls Repairs	\$ 12	\$ 22	\$ 24	\$ 28	\$ 29	\$ 33	\$ 33	\$ 38	\$ 37	\$ 45	\$ 45	\$ 42	\$ 41	\$ 52	\$ 52	\$ 54
Painting & Repairs Subtotal :	\$ 663	\$ 1,169	\$ 1,306	\$ 1,465	\$ 1,440	\$ 1,624	\$ 1,629	\$ 1,856	\$ 1,871	\$ 2,055	\$ 2,055	\$ 1,886	\$ 1,867	\$ 2,412	\$ 2,547	\$ 2,620
Reserve Category : Pool & Spa																
Pool Resurfacing	\$ 1,088	\$ 1,918	\$ 546	\$ 643	\$ 659	\$ 744	\$ 746	\$ 850	\$ 835	\$ 867	\$ 867	\$ 795	\$ 1,011	\$ 1,288	\$ 1,285	\$ 1,322
Pool Chemical System Replacement	\$ 17	\$ 29	\$ 33	\$ 39	\$ 40	\$ 45	\$ 45	\$ 51	\$ 50	\$ 52	\$ 52	\$ 48	\$ 55	\$ 70	\$ 70	\$ 72
Pool Heater Replacement	\$ 247	\$ 435	\$ 487	\$ 573	\$ 588	\$ 663	\$ 511	\$ 582	\$ 572	\$ 593	\$ 593	\$ 545	\$ 539	\$ 687	\$ 685	\$ 705
Pool/Spa Filters Replacement	\$ 129	\$ 228	\$ 254	\$ 299	\$ 307	\$ 347	\$ 348	\$ 396	\$ 389	\$ 404	\$ 404	\$ 333	\$ 330	\$ 420	\$ 419	\$ 431
Pool/Spa Pumps Replacement	\$ 277	\$ 488	\$ 546	\$ 643	\$ 659	\$ 632	\$ 634	\$ 721	\$ 709	\$ 736	\$ 736	\$ 676	\$ 796	\$ 1,014	\$ 1,011	\$ 1,040
Spa Resurfacing	\$ 128	\$ 226	\$ 252	\$ 297	\$ 305	\$ 220	\$ 220	\$ 251	\$ 247	\$ 256	\$ 256	\$ 235	\$ 233	\$ 296	\$ 296	\$ 390
Spa Heater Replacement	\$ 258	\$ 454	\$ 129	\$ 152	\$ 156	\$ 176	\$ 176	\$ 201	\$ 197	\$ 205	\$ 205	\$ 188	\$ 240	\$ 305	\$ 305	\$ 313
Water Heater Pool Area Replacement	\$ 308	\$ 69	\$ 77	\$ 91	\$ 93	\$ 105	\$ 105	\$ 120	\$ 118	\$ 122	\$ 122	\$ 144	\$ 143	\$ 182	\$ 181	\$ 187
Pool & Spa Subtotal :	\$ 2,452	\$ 3,847	\$ 2,324	\$ 2,737	\$ 2,807	\$ 2,932	\$ 2,785	\$ 3,172	\$ 3,117	\$ 3,235	\$ 3,235	\$ 2,964	\$ 3,347	\$ 4,262	\$ 4,252	\$ 4,460
Reserve Category : Refurbishment																

Adjusted Revenue includes earned interest, tax adjustments, and salvage.

Desert Mountain at High Desert Funding Adjusted Revenue by Fiscal Calendar Year - Continued

Item Name	FY 2021	FY 2022	FY 2023	FY 2024	FY 2025	FY 2026	FY 2027	FY 2028	FY 2029	FY 2030	FY 2031	FY 2032	FY 2033	FY 2034	FY 2035	FY 2036
Pool House Restrooms Refurbishment	\$ 76	\$ 135	\$ 151	\$ 177	\$ 182	\$ 205	\$ 206	\$ 234	\$ 230	\$ 239	\$ 239	\$ 219	\$ 252	\$ 321	\$ 320	\$ 329
Pool House Shower Refurbishment	\$ 79	\$ 140	\$ 156	\$ 184	\$ 188	\$ 212	\$ 213	\$ 243	\$ 239	\$ 249	\$ 249	\$ 229	\$ 226	\$ 288	\$ 288	\$ 296
Pool House/Ramada Refurbishment	\$ 415	\$ 732	\$ 819	\$ 234	\$ 240	\$ 271	\$ 272	\$ 310	\$ 304	\$ 316	\$ 316	\$ 290	\$ 287	\$ 366	\$ 365	\$ 375
Refurbishment Subtotal :	\$ 570	\$ 1,007	\$ 1,126	\$ 595	\$ 610	\$ 688	\$ 691	\$ 787	\$ 773	\$ 804	\$ 804	\$ 738	\$ 765	\$ 975	\$ 973	\$ 1,000
Reserve Category : Roofing																
Pool House Flat Roof Replacement	\$ 44	\$ 77	\$ 86	\$ 101	\$ 104	\$ 117	\$ 118	\$ 134	\$ 132	\$ 137	\$ 137	\$ 125	\$ 144	\$ 184	\$ 183	\$ 189
Pool House/Ramada Tile Roof Replacement	\$ 201	\$ 355	\$ 397	\$ 467	\$ 479	\$ 541	\$ 542	\$ 618	\$ 607	\$ 630	\$ 630	\$ 578	\$ 475	\$ 606	\$ 604	\$ 621
Roofing Subtotal :	\$ 245	\$ 432	\$ 483	\$ 568	\$ 583	\$ 658	\$ 660	\$ 752	\$ 739	\$ 767	\$ 767	\$ 703	\$ 619	\$ 790	\$ 787	\$ 810
Reserve Category : Signage																
Traffic & Street Name Signs Replacement	\$ 113	\$ 200	\$ 223	\$ 152	\$ 156	\$ 176	\$ 176	\$ 201	\$ 197	\$ 238	\$ 238	\$ 219	\$ 216	\$ 276	\$ 275	\$ 328
Reserve Category : Walls & Fences																
Metal Gates Replacement	\$ 229	\$ 403	\$ 451	\$ 531	\$ 544	\$ 614	\$ 616	\$ 701	\$ 689	\$ 715	\$ 715	\$ 657	\$ 540	\$ 688	\$ 686	\$ 706
Pool Metal Gates Replacement	\$ 32	\$ 56	\$ 62	\$ 73	\$ 75	\$ 85	\$ 85	\$ 97	\$ 95	\$ 99	\$ 99	\$ 91	\$ 90	\$ 115	\$ 114	\$ 118
Pool Metal Fencing Replacement	\$ 388	\$ 684	\$ 765	\$ 900	\$ 924	\$ 1,042	\$ 1,045	\$ 1,190	\$ 1,170	\$ 1,214	\$ 1,214	\$ 848	\$ 839	\$ 1,069	\$ 1,067	\$ 1,097
Walls & Fences Subtotal :	\$ 649	\$ 1,143	\$ 1,278	\$ 1,504	\$ 1,543	\$ 1,741	\$ 1,746	\$ 1,988	\$ 1,954	\$ 2,028	\$ 2,028	\$ 1,596	\$ 1,469	\$ 1,872	\$ 1,867	\$ 1,921
Total Revenue :	\$ 27,766	\$ 41,367	\$ 41,367	\$ 45,057	\$ 45,057	\$ 50,583	\$ 50,583	\$ 57,683	\$ 57,683	\$ 60,200	\$ 60,200	\$ 55,548	\$ 55,548	\$ 72,083	\$ 72,083	\$ 74,369

Adjusted Revenue includes earned interest, tax adjustments, and salvage.

Desert Mountain at High Desert Funding Adjusted Revenue by Fiscal Calendar Year - Continued

Item Name	FY 2037	FY 2038	FY 2039	FY 2040	FY 2041	FY 2042	FY 2043	FY 2044	FY 2045	FY 2046	FY 2047	FY 2048	FY 2049	FY 2050	FY 2051	FY 2052
Reserve Category : Access Control																
Access System Replacement	\$ 1,141	\$ 782	\$ 760	\$ 1,173	\$ 1,173	\$ 1,191	\$ 1,178	\$ 1,396	\$ 1,377	\$ 1,425	\$ 1,417	\$ 769	\$ 749	\$ 1,347	\$ 1,596	\$ 1,386
Camera System Replacement	\$ 1,120	\$ 767	\$ 746	\$ 1,152	\$ 1,152	\$ 1,169	\$ 1,484	\$ 1,477	\$ 1,456	\$ 1,507	\$ 1,499	\$ 814	\$ 792	\$ 1,425	\$ 1,417	\$ 1,230
Card Access System Pool Replacement	\$ 558	\$ 382	\$ 371	\$ 573	\$ 573	\$ 582	\$ 576	\$ 683	\$ 673	\$ 697	\$ 693	\$ 376	\$ 366	\$ 659	\$ 780	\$ 677
High Desert Gate Operators Refurbishment	\$ 433	\$ 296	\$ 288	\$ 571	\$ 571	\$ 580	\$ 574	\$ 571	\$ 563	\$ 583	\$ 579	\$ 315	\$ 306	\$ 706	\$ 703	\$ 610
High Desert Gate Operators Replacement	\$ 1,069	\$ 732	\$ 711	\$ 1,099	\$ 1,099	\$ 1,115	\$ 1,104	\$ 1,098	\$ 1,083	\$ 1,121	\$ 1,114	\$ 605	\$ 589	\$ 1,746	\$ 1,737	\$ 1,508
Imperata Gate Operators Refurbishment	\$ 288	\$ 197	\$ 192	\$ 381	\$ 381	\$ 386	\$ 382	\$ 381	\$ 375	\$ 388	\$ 386	\$ 210	\$ 204	\$ 471	\$ 468	\$ 407
Imperata Gate Operators Replacement	\$ 713	\$ 488	\$ 474	\$ 733	\$ 733	\$ 743	\$ 736	\$ 732	\$ 722	\$ 747	\$ 743	\$ 403	\$ 393	\$ 1,163	\$ 1,157	\$ 1,005
Keypad Pedestrian Gate Replacement	\$ 64	\$ 44	\$ 43	\$ 85	\$ 85	\$ 86	\$ 85	\$ 85	\$ 84	\$ 87	\$ 86	\$ 47	\$ 45	\$ 105	\$ 104	\$ 90
Pool Keypad Access Systems Replacement	\$ 406	\$ 278	\$ 270	\$ 417	\$ 417	\$ 423	\$ 419	\$ 496	\$ 490	\$ 507	\$ 504	\$ 274	\$ 266	\$ 479	\$ 568	\$ 493
Access Control Subtotal :	\$ 5,792	\$ 3,966	\$ 3,855	\$ 6,184	\$ 6,184	\$ 6,275	\$ 6,538	\$ 6,919	\$ 6,823	\$ 7,062	\$ 7,021	\$ 3,813	\$ 3,710	\$ 8,101	\$ 8,530	\$ 7,406
Reserve Category : Asphalt & Concrete																
Asphalt Cracksealing & Minor Repairs	\$ 1,890	\$ 1,295	\$ 1,425	\$ 2,202	\$ 2,202	\$ 2,235	\$ 2,211	\$ 2,493	\$ 2,459	\$ 2,545	\$ 2,530	\$ 1,374	\$ 1,516	\$ 2,726	\$ 2,712	\$ 2,354
Asphalt Resurfacing	\$ 25,550	\$ 17,505	\$ 17,006	\$ 26,267	\$ 26,267	\$ 26,660	\$ 26,382	\$ 26,257	\$ 25,892	\$ 26,797	\$ 26,643	\$ 14,467	\$ 14,084	\$ 25,331	\$ 25,199	\$ 21,875
Asphalt Sealcoating	\$ 9,307	\$ 6,377	\$ 7,019	\$ 10,841	\$ 10,841	\$ 11,003	\$ 10,888	\$ 12,277	\$ 12,107	\$ 12,530	\$ 12,458	\$ 6,765	\$ 7,461	\$ 13,420	\$ 13,350	\$ 11,589
Concrete Partial Replacement	\$ 2,817	\$ 1,930	\$ 1,875	\$ 3,281	\$ 3,281	\$ 3,330	\$ 3,295	\$ 3,279	\$ 3,664	\$ 3,792	\$ 3,771	\$ 2,047	\$ 1,993	\$ 4,062	\$ 4,041	\$ 3,508
Concrete Repairs/Resurfacing Pool Deck	\$ 2,781	\$ 1,905	\$ 1,851	\$ 2,859	\$ 2,859	\$ 3,724	\$ 3,685	\$ 3,667	\$ 3,616	\$ 3,743	\$ 3,721	\$ 2,021	\$ 1,967	\$ 3,538	\$ 3,520	

Adjusted Revenue includes earned interest, tax adjustments, and salvage.

Desert Mountain at High Desert Funding Adjusted Revenue by Fiscal Calendar Year - Continued

Item Name	FY 2037	FY 2038	FY 2039	FY 2040	FY 2041	FY 2042	FY 2043	FY 2044	FY 2045	FY 2046	FY 2047	FY 2048	FY 2049	FY 2050	FY 2051	FY 2052
Concrete Replacement Pool Deck	\$ 1,744	\$ 1,195	\$ 1,161	\$ 1,793	\$ 1,793	\$ 2,670	\$ 2,643	\$ 2,630	\$ 2,593	\$ 2,684	\$ 2,669	\$ 1,449	\$ 1,411	\$ 2,537	\$ 2,524	\$ 2,191
Asphalt & Concrete Subtotal :	\$ 44,089	\$ 30,207	\$ 30,337	\$ 47,243	\$ 47,243	\$ 49,622	\$ 49,104	\$ 50,603	\$ 50,331	\$ 52,091	\$ 51,792	\$ 28,123	\$ 28,432	\$ 51,614	\$ 51,346	\$ 41,517
Reserve Category : Furniture																
Pool Area Ramada Furniture Replacement	\$ 238	\$ 163	\$ 158	\$ 244	\$ 244	\$ 248	\$ 245	\$ 244	\$ 241	\$ 249	\$ 248	\$ 134	\$ 131	\$ 235	\$ 234	
Pool Deck Furniture Replacement	\$ 1,199	\$ 821	\$ 798	\$ 1,362	\$ 1,362	\$ 1,382	\$ 1,368	\$ 1,504	\$ 1,483	\$ 1,535	\$ 1,526	\$ 916	\$ 891	\$ 1,603	\$ 1,595	
Furniture Subtotal :	\$ 1,437	\$ 984	\$ 956	\$ 1,606	\$ 1,606	\$ 1,630	\$ 1,613	\$ 1,748	\$ 1,724	\$ 1,784	\$ 1,774	\$ 1,050	\$ 1,022	\$ 1,838	\$ 1,829	
Reserve Category : Infrastructure																
Sewer Connection Partial Replacement	\$ 3,071	\$ 2,104	\$ 2,044	\$ 3,158	\$ 3,158	\$ 3,205	\$ 3,171	\$ 3,156	\$ 3,113	\$ 3,221	\$ 3,203	\$ 1,739	\$ 1,693	\$ 3,045	\$ 3,029	
Reserve Category : Landscaping & Irrigation																
Irrigation Backflow Preventers Unfunded																
Irrigation Street Drains Replacement	\$ 1,789	\$ 1,226	\$ 1,191	\$ 1,840	\$ 1,840	\$ 1,867	\$ 1,848	\$ 1,839	\$ 1,813	\$ 1,877	\$ 1,866	\$ 1,013	\$ 986	\$ 1,774	\$ 1,765	
Irrigation Systems Replacement	\$ 1,420	\$ 973	\$ 1,186	\$ 1,831	\$ 1,831	\$ 1,859	\$ 1,839	\$ 1,831	\$ 1,805	\$ 1,868	\$ 1,857	\$ 1,009	\$ 982	\$ 1,766	\$ 1,757	\$ 1,525
Irrigation Controllers Replacement Unfunded																
Landscaping Decomposed Granite Replenishment	\$ 1,996	\$ 1,367	\$ 1,328	\$ 2,052	\$ 2,052	\$ 2,082	\$ 2,061	\$ 2,051	\$ 2,597	\$ 2,687	\$ 2,672	\$ 1,451	\$ 1,412	\$ 2,540	\$ 2,527	\$ 2,194
Landscaping Plant Materials Replacement	\$ 1,362	\$ 933	\$ 906	\$ 1,796	\$ 1,796	\$ 1,823	\$ 1,804	\$ 1,795	\$ 1,770	\$ 1,832	\$ 1,822	\$ 989	\$ 963	\$ 2,224	\$ 2,212	\$ 1,921
Landscaping & Irrigation Subtotal :	\$ 6,567	\$ 4,499	\$ 4,611	\$ 7,519	\$ 7,519	\$ 7,631	\$ 7,552	\$ 7,516	\$ 7,985	\$ 8,264	\$ 8,217	\$ 4,462	\$ 4,343	\$ 8,304	\$ 8,261	\$ 5,640
Reserve Category : Lighting																

Adjusted Revenue includes earned interest, tax adjustments, and salvage.

Desert Mountain at High Desert Funding Adjusted Revenue by Fiscal Calendar Year - Continued

Item Name	FY 2037	FY 2038	FY 2039	FY 2040	FY 2041	FY 2042	FY 2043	FY 2044	FY 2045	FY 2046	FY 2047	FY 2048	FY 2049	FY 2050	FY 2051	FY 2052
Bollard Lights Replacement	\$ 1,167	\$ 800	\$ 777	\$ 1,200	\$ 1,200	\$ 1,218	\$ 1,205	\$ 1,200	\$ 1,183	\$ 1,224	\$ 1,217	\$ 961	\$ 936	\$ 1,683	\$ 1,674	\$ 1,454
Street Lights Replacement	\$ 996	\$ 683	\$ 663	\$ 1,024	\$ 1,024	\$ 1,040	\$ 1,029	\$ 1,024	\$ 1,010	\$ 1,045	\$ 1,039	\$ 564	\$ 549	\$ 988	\$ 983	
Lighting Subtotal :	\$ 2,163	\$ 1,483	\$ 1,440	\$ 2,224	\$ 2,224	\$ 2,258	\$ 2,234	\$ 2,224	\$ 2,193	\$ 2,269	\$ 2,256	\$ 1,525	\$ 1,485	\$ 2,671	\$ 2,657	\$ 1,454
Reserve Category : Painting & Repairs																
Metal Fence Pool Perimeter Painting	\$ 657	\$ 450	\$ 437	\$ 765	\$ 765	\$ 776	\$ 768	\$ 764	\$ 855	\$ 885	\$ 879	\$ 478	\$ 465	\$ 947	\$ 942	\$ 818
Metal Gates Painting	\$ 304	\$ 208	\$ 229	\$ 354	\$ 354	\$ 359	\$ 355	\$ 401	\$ 396	\$ 410	\$ 407	\$ 221	\$ 244	\$ 439	\$ 437	\$ 379
Metal Light Poles & Posts Painting	\$ 556	\$ 381	\$ 370	\$ 647	\$ 647	\$ 656	\$ 649	\$ 646	\$ 722	\$ 747	\$ 743	\$ 403	\$ 393	\$ 801	\$ 797	\$ 692
Stucco Walls Painting	\$ 1,031	\$ 706	\$ 881	\$ 1,361	\$ 1,361	\$ 1,381	\$ 1,366	\$ 1,360	\$ 1,341	\$ 1,388	\$ 1,380	\$ 749	\$ 936	\$ 1,684	\$ 1,675	\$ 1,454
Stucco Walls Repairs	\$ 53	\$ 37	\$ 36	\$ 69	\$ 69	\$ 70	\$ 70	\$ 69	\$ 68	\$ 71	\$ 70	\$ 38	\$ 37	\$ 87	\$ 86	\$ 75
Painting & Repairs Subtotal :	\$ 2,601	\$ 1,782	\$ 1,953	\$ 3,196	\$ 3,196	\$ 3,242	\$ 3,208	\$ 3,240	\$ 3,382	\$ 3,501	\$ 3,479	\$ 1,889	\$ 2,075	\$ 3,958	\$ 3,937	\$ 3,418
Reserve Category : Pool & Spa																
Pool Resurfacing	\$ 1,312	\$ 899	\$ 873	\$ 1,349	\$ 1,349	\$ 1,369	\$ 1,738	\$ 1,730	\$ 1,706	\$ 1,766	\$ 1,756	\$ 953	\$ 928	\$ 1,669	\$ 1,661	\$ 1,442
Pool Chemical System Replacement	\$ 71	\$ 49	\$ 48	\$ 73	\$ 73	\$ 75	\$ 74	\$ 73	\$ 72	\$ 75	\$ 75	\$ 59	\$ 57	\$ 103	\$ 102	\$ 89
Pool Heater Replacement	\$ 898	\$ 615	\$ 598	\$ 923	\$ 923	\$ 937	\$ 927	\$ 923	\$ 910	\$ 941	\$ 1,201	\$ 652	\$ 635	\$ 1,141	\$ 1,135	\$ 986
Pool/Spa Filters Replacement	\$ 428	\$ 293	\$ 285	\$ 440	\$ 440	\$ 446	\$ 442	\$ 440	\$ 433	\$ 449	\$ 446	\$ 242	\$ 236	\$ 424	\$ 422	
Pool/Spa Pumps Replacement	\$ 1,033	\$ 707	\$ 687	\$ 1,264	\$ 1,264	\$ 1,283	\$ 1,270	\$ 1,264	\$ 1,246	\$ 1,290	\$ 1,528	\$ 830	\$ 808	\$ 1,453	\$ 1,445	\$ 1,255
Spa Resurfacing	\$ 387	\$ 265	\$ 258	\$ 398	\$ 398	\$ 404	\$ 400	\$ 398	\$ 393	\$ 521	\$ 518	\$ 282	\$ 274	\$ 493	\$ 490	\$ 426
Spa Heater Replacement	\$ 311	\$ 213	\$ 207	\$ 320	\$ 320	\$ 324	\$ 412	\$ 410	\$ 404	\$ 418	\$ 416	\$ 226	\$ 220	\$ 395	\$ 393	\$ 341
Water Heater Pool Area Replacement	\$ 185	\$ 127	\$ 123	\$ 190	\$ 190	\$ 248	\$ 245	\$ 244	\$ 241	\$ 249	\$ 248	\$ 134	\$ 131	\$ 235	\$ 234	
Pool & Spa Subtotal :	\$ 4,625	\$ 3,168	\$ 3,079	\$ 4,957	\$ 4,957	\$ 5,086	\$ 5,508	\$ 5,482	\$ 5,405	\$ 5,709	\$ 6,188	\$ 3,378	\$ 3,289	\$ 5,913	\$ 5,882	\$ 4,539
Reserve Category : Refurbishment																

Adjusted Revenue includes earned interest, tax adjustments, and salvage.

Desert Mountain at High Desert Funding Adjusted Revenue by Fiscal Calendar Year - Continued

Item Name	FY 2037	FY 2038	FY 2039	FY 2040	FY 2041	FY 2042	FY 2043	FY 2044	FY 2045	FY 2046	FY 2047	FY 2048	FY 2049	FY 2050	FY 2051	FY 2052
Pool House Restrooms Refurbishment	\$ 327	\$ 224	\$ 218	\$ 336	\$ 336	\$ 341	\$ 338	\$ 336	\$ 331	\$ 343	\$ 341	\$ 269	\$ 262	\$ 471	\$ 468	\$ 407
Pool House Shower Refurbishment	\$ 294	\$ 201	\$ 196	\$ 302	\$ 302	\$ 414	\$ 409	\$ 407	\$ 402	\$ 416	\$ 413	\$ 225	\$ 219	\$ 393	\$ 391	\$ 339
Pool House/Ramada Refurbishment	\$ 372	\$ 255	\$ 248	\$ 383	\$ 383	\$ 389	\$ 384	\$ 631	\$ 622	\$ 644	\$ 640	\$ 348	\$ 338	\$ 609	\$ 605	\$ 526
Refurbishment Subtotal :	\$ 993	\$ 680	\$ 662	\$ 1,021	\$ 1,021	\$ 1,144	\$ 1,131	\$ 1,374	\$ 1,355	\$ 1,403	\$ 1,394	\$ 842	\$ 819	\$ 1,473	\$ 1,464	\$ 1,272
Reserve Category : Roofing																
Pool House Flat Roof Replacement	\$ 187	\$ 128	\$ 125	\$ 192	\$ 192	\$ 195	\$ 193	\$ 192	\$ 190	\$ 196	\$ 195	\$ 154	\$ 150	\$ 269	\$ 268	\$ 233
Pool House/Ramada Tile Roof Replacement	\$ 617	\$ 423	\$ 411	\$ 634	\$ 634	\$ 644	\$ 637	\$ 634	\$ 625	\$ 647	\$ 643	\$ 349	\$ 340	\$ 612	\$ 608	\$ 528
Roofing Subtotal :	\$ 804	\$ 551	\$ 536	\$ 826	\$ 826	\$ 839	\$ 830	\$ 826	\$ 815	\$ 843	\$ 838	\$ 503	\$ 490	\$ 881	\$ 876	\$ 761
Reserve Category : Signage																
Traffic & Street Name Signs Replacement	\$ 326	\$ 223	\$ 217	\$ 335	\$ 335	\$ 396	\$ 392	\$ 390	\$ 384	\$ 398	\$ 396	\$ 249	\$ 242	\$ 436	\$ 434	\$ 377
Reserve Category : Walls & Fences																
Metal Gates Replacement	\$ 700	\$ 480	\$ 466	\$ 720	\$ 720	\$ 731	\$ 723	\$ 720	\$ 710	\$ 735	\$ 730	\$ 397	\$ 386	\$ 694	\$ 691	\$ 600
Pool Metal Gates Replacement	\$ 117	\$ 80	\$ 78	\$ 120	\$ 120	\$ 122	\$ 185	\$ 184	\$ 182	\$ 188	\$ 187	\$ 101	\$ 99	\$ 178	\$ 177	\$ 153
Pool Metal Fencing Replacement	\$ 1,089	\$ 746	\$ 725	\$ 1,119	\$ 1,119	\$ 1,136	\$ 1,124	\$ 1,119	\$ 1,103	\$ 1,142	\$ 1,135	\$ 617	\$ 600	\$ 1,080	\$ 1,074	\$ 932
Walls & Fences Subtotal :	\$ 1,906	\$ 1,306	\$ 1,269	\$ 1,959	\$ 1,959	\$ 1,989	\$ 2,032	\$ 2,023	\$ 1,995	\$ 2,065	\$ 2,052	\$ 1,115	\$ 1,085	\$ 1,952	\$ 1,942	\$ 1,685
Total Revenue :	\$ 74,369	\$ 50,953	\$ 50,953	\$ 80,223	\$ 80,223	\$ 83,315	\$ 83,315	\$ 85,504	\$ 85,504	\$ 88,610	\$ 88,610	\$ 48,689	\$ 48,689	\$ 90,190	\$ 90,190	\$ 68,066

Adjusted Revenue includes earned interest, tax adjustments, and salvage.

Desert Mountain at High Desert Funding Study - Expenses by Item and by Fiscal Calendar Year

Item Description	FY 2021	FY 2022	FY 2023	FY 2024	FY 2025	FY 2026	FY 2027	FY 2028	FY 2029	FY 2030	FY 2031	FY 2032	FY 2033	FY 2034	FY 2035	FY 2036	FY 2037	FY 2038	FY 2039	FY 2040	FY 2041
Reserve Category : Access Control																					
Access System Replacement		\$ 4,730							\$ 5,634							\$ 6,710					
Camera System Replacement		\$ 6,819										\$ 8,754									
Card Access System Pool Replacement		\$ 2,313							\$ 2,754							\$ 3,281					
High Desert Gate Operators Refurbishment									\$ 3,380											\$ 4,339	
High Desert Gate Operators Replacement									\$ 13,146												
Imperata Gate Operators Refurbishment									\$ 2,254											\$ 2,893	
Imperata Gate Operators Replacement									\$ 8,764												
Keypad Pedestrian Gate Replacement									\$ 501											\$ 643	
Pool Keypad Access Systems Replacement		\$ 1,682							\$ 2,003							\$ 2,386					
Category Subtotal :		\$ 15,544							\$ 38,436			\$ 8,754				\$ 12,377				\$ 7,875	
Reserve Category : Asphalt & Concrete																					
Asphalt Cracksealing & Minor Repairs			\$ 6,488					\$ 7,351					\$ 8,329					\$ 9,437			
Asphalt Resurfacing														\$ 371,046							
Asphalt Sealcoating			\$ 31,949					\$ 36,199					\$ 41,013					\$ 46,468			
Concrete Partial Replacement				\$ 9,669					\$ 10,955					\$ 12,412						\$ 14,063	
Concrete Repairs/Resurfacing Pool Deck	\$ 16,933										\$ 21,736										\$ 27,903
Concrete Replacement Pool Deck																					\$ 37,170
Category Subtotal :	\$ 16,933		\$ 38,437	\$ 9,669				\$ 43,550	\$ 10,955		\$ 21,736		\$ 49,342	\$ 383,458				\$ 55,905	\$ 14,063		\$ 65,073
Reserve Category : Furniture																					
Pool Area Ramada Furniture Replacement																					
Pool Deck Furniture Replacement			\$ 3,206					\$ 3,543			\$ 3,916				\$ 4,327					\$ 4,781	
Category Subtotal :			\$ 3,206					\$ 3,543			\$ 3,916				\$ 4,327					\$ 4,781	
Reserve Category : Infrastructure																					
Sewer Connection Partial Replacement																					
Reserve Category : Landscaping & Irrigation																					
Irrigation Backflow Preventers Unfunded																					
Irrigation Street Drains Replacement																					
Irrigation Systems Replacement																				\$ 25,865	
Irrigation Controllers Replacement Unfunded																					
Landscaping Decomposed Granite Replenishment				\$ 12,156										\$ 15,604							
Landscaping Plant Materials Replacement									\$ 10,642											\$ 13,661	
Category Subtotal :				\$ 12,156					\$ 10,642					\$ 15,604					\$ 25,865	\$ 13,661	

Desert Mountain at High Desert Funding Study Expenses by Fiscal Calendar Year - Continued

Item Description	FY 2021	FY 2022	FY 2023	FY 2024	FY 2025	FY 2026	FY 2027	FY 2028	FY 2029	FY 2030	FY 2031	FY 2032	FY 2033	FY 2034	FY 2035	FY 2036	FY 2037	FY 2038	FY 2039	FY 2040	FY 2041
Reserve Category : Lighting																					
Bollard Lights Replacement												\$ 12,145									
Street Lights Replacement																					
Category Subtotal :												\$ 12,145									
Reserve Category : Painting & Repairs																					
Metal Fence Pool Perimeter Painting				\$ 2,254					\$ 2,554					\$ 2,894					\$ 3,279		
Metal Gates Painting			\$ 1,044					\$ 1,183					\$ 1,340					\$ 1,519			
Metal Light Poles & Posts Painting				\$ 1,906					\$ 2,160					\$ 2,447					\$ 2,772		
Stucco Walls Painting								\$ 8,060										\$ 10,346			
Stucco Walls Repairs									\$ 413										\$ 530		
Category Subtotal :			\$ 1,044	\$ 4,160				\$ 9,243	\$ 5,127				\$ 1,340	\$ 5,341				\$ 11,865	\$ 6,581		
Reserve Category : Pool & Spa																					
Pool Resurfacing		\$ 7,989										\$ 10,256									
Pool Chemical System Replacement												\$ 742									
Pool Heater Replacement						\$ 5,464										\$ 7,015					
Pool/Spa Filters Replacement										\$ 5,265											
Pool/Spa Pumps Replacement					\$ 5,099							\$ 6,072							\$ 7,232		
Spa Resurfacing					\$ 2,358										\$ 3,027						
Spa Heater Replacement		\$ 1,892										\$ 2,429									
Water Heater Pool Area Replacement	\$ 1,128										\$ 1,448										\$ 1,858
Category Subtotal :	\$ 1,128	\$ 9,881			\$ 7,457	\$ 5,464					\$ 6,713	\$ 19,499			\$ 3,027	\$ 7,015			\$ 7,232		\$ 1,858
Reserve Category : Refurbishment																					
Pool House Restrooms Refurbishment												\$ 3,401									
Pool House Shower Refurbishment									\$ 2,629												\$ 3,548
Pool House/Ramada Refurbishment			\$ 4,581																		
Category Subtotal :			\$ 4,581						\$ 2,629			\$ 3,401									\$ 3,548
Reserve Category : Roofing																					
Pool House Flat Roof Replacement												\$ 1,943									
Pool House/Ramada Tile Roof Replacement												\$ 8,964									
Category Subtotal :												\$ 10,907									
Reserve Category : Signage																					
Traffic & Street Name Signs Replacement			\$ 1,248						\$ 1,450						\$ 1,684						\$ 1,956
Reserve Category : Walls & Fences																					
Metal Gates Replacement												\$ 10,175									

Desert Mountain at High Desert Funding Study Expenses by Fiscal Calendar Year - Continued

Item Description	FY 2021	FY 2022	FY 2023	FY 2024	FY 2025	FY 2026	FY 2027	FY 2028	FY 2029	FY 2030	FY 2031	FY 2032	FY 2033	FY 2034	FY 2035	FY 2036	FY 2037	FY 2038	FY 2039	FY 2040	FY 2041
Pool Metal Gates Replacement																					
Pool Metal Fencing Replacement											\$ 15,810										
Category Subtotal :											\$ 15,810	\$ 10,175									
Expense Totals :	\$ 18,060	\$ 25,426	\$ 48,517	\$ 25,985	\$ 7,466	\$ 5,464	\$ 3,543	\$ 52,792	\$ 69,241		\$ 48,174	\$ 64,882	\$ 50,882	\$ 404,403	\$ 9,038	\$ 19,392		\$ 93,634	\$ 54,195		\$ 72,435

Desert Mountain at High Desert Funding Study Expenses by Fiscal Calendar Year - Continued

Item Description	FY 2042	FY 2043	FY 2044	FY 2045	FY 2046	FY 2047	FY 2048	FY 2049	FY 2050	FY 2051	FY 2052
Reserve Category : Access Control											
Access System Replacement		\$ 7,992							\$ 9,519		
Camera System Replacement	\$ 11,237										\$ 14,425
Card Access System Pool Replacement		\$ 3,907							\$ 4,654		
High Desert Gate Operators Refurbishment								\$ 5,571			
High Desert Gate Operators Replacement								\$ 21,663			
Imperata Gate Operators Refurbishment								\$ 3,714			
Imperata Gate Operators Replacement								\$ 14,442			
Keypad Pedestrian Gate Replacement								\$ 825			
Pool Keypad Access Systems Replacement		\$ 2,842							\$ 3,385		
Category Subtotal :	\$ 11,237	\$ 14,741						\$ 46,215	\$ 17,558		\$ 14,425
Reserve Category : Asphalt & Concrete											
Asphalt Cracksealing & Minor Repairs		\$ 10,692					\$ 12,114				
Asphalt Resurfacing											
Asphalt Sealcoating		\$ 52,648					\$ 59,650				
Concrete Partial Replacement			\$ 15,934					\$ 18,053			
Concrete Repairs/Resurfacing Pool Deck										\$ 35,818	
Concrete Replacement Pool Deck											
Category Subtotal :		\$ 63,340	\$ 15,934				\$ 71,764	\$ 18,053		\$ 35,818	
Reserve Category : Furniture											
Pool Area Ramada Furniture Replacement										\$ 7,537	
Pool Deck Furniture Replacement		\$ 5,284					\$ 5,839			\$ 6,452	
Category Subtotal :		\$ 5,284					\$ 5,839			\$ 13,989	
Reserve Category : Infrastructure											
Sewer Connection Partial Replacement										\$ 97,598	
Reserve Category : Landscaping & Irrigation											
Irrigation Backflow Preventers Unfunded											
Irrigation Street Drains Replacement										\$ 56,867	
Irrigation Systems Replacement											
Irrigation Controllers Replacement Unfunded											
Landscaping Decomposed Granite Replenishment			\$ 20,031								
Landscaping Plant Materials Replacement								\$ 17,537			
Category Subtotal :			\$ 20,031					\$ 17,537		\$ 56,867	

Desert Mountain at High Desert Funding Study Expenses by Fiscal Calendar Year - Continued

Item Description	FY 2042	FY 2043	FY 2044	FY 2045	FY 2046	FY 2047	FY 2048	FY 2049	FY 2050	FY 2051	FY 2052
Reserve Category : Lighting											
Bollard Lights Replacement						\$ 17,664					
Street Lights Replacement										\$ 31,654	
Category Subtotal :						\$ 17,664				\$ 31,654	
Reserve Category : Painting & Repairs											
Metal Fence Pool Perimeter Painting			\$ 3,715					\$ 4,209			
Metal Gates Painting		\$ 1,721					\$ 1,950				
Metal Light Poles & Posts Painting			\$ 3,141					\$ 3,559			
Stucco Walls Painting							\$ 13,281				
Stucco Walls Repairs								\$ 681			
Category Subtotal :		\$ 1,721	\$ 6,856				\$ 15,231	\$ 8,449			
Reserve Category : Pool & Spa											
Pool Resurfacing	\$ 13,165										\$ 16,900
Pool Chemical System Replacement						\$ 1,079					
Pool Heater Replacement					\$ 9,005						
Pool/Spa Filters Replacement										\$ 8,675	
Pool/Spa Pumps Replacement					\$ 8,614						
Spa Resurfacing				\$ 3,885							
Spa Heater Replacement	\$ 3,118										\$ 4,003
Water Heater Pool Area Replacement										\$ 2,386	
Category Subtotal :	\$ 16,283			\$ 3,885	\$ 17,619	\$ 1,079				\$ 11,061	\$ 20,903
Reserve Category : Refurbishment											
Pool House Restrooms Refurbishment						\$ 4,946					
Pool House Shower Refurbishment											
Pool House/Ramada Refurbishment		\$ 7,548									
Category Subtotal :		\$ 7,548				\$ 4,946					
Reserve Category : Roofing											
Pool House Flat Roof Replacement						\$ 2,826					
Pool House/Ramada Tile Roof Replacement											
Category Subtotal :						\$ 2,826					
Reserve Category : Signage											
Traffic & Street Name Signs Replacement						\$ 2,273					
Reserve Category : Walls & Fences											
Metal Gates Replacement											

Desert Mountain at High Desert Funding Study Expenses by Fiscal Calendar Year - Continued

Item Description	FY 2042	FY 2043	FY 2044	FY 2045	FY 2046	FY 2047	FY 2048	FY 2049	FY 2050	FY 2051	FY 2052
Pool Metal Gates Replacement	\$ 2,598										
Pool Metal Fencing Replacement											
Category Subtotal :	\$ 2,598										
Expense Totals :	\$ 30,119	\$ 82,634	\$ 42,620	\$ 3,885	\$ 17,619	\$ 34,627	\$ 86,995	\$ 90,254	\$ 17,557	\$ 246,988	\$ 35,328



30-Year Expense Summary

Year	Category	Item Name	Expense	
FY 2021	Asphalt & Concrete	Concrete Repairs/Resurfacing Pool Deck	\$ 16,933	
	Pool & Spa	Water Heater Pool Area Replacement	\$ 1,128	
FY 2021 Annual Expense Total = \$ 18,061				
FY 2022	Access Control	Access System Replacement	\$ 4,730	
		Camera System Replacement	\$ 6,819	
		Card Access System Pool Replacement	\$ 2,313	
		Pool Keypad Access Systems Replacement	\$ 1,682	
	Access Control Subtotal = \$ 15,544.00			
	Pool & Spa	Pool Resurfacing	\$ 7,989	
		Spa Heater Replacement	\$ 1,892	
Pool & Spa Subtotal = \$ 9,881.00				
FY 2022 Annual Expense Total = \$ 25,425				
FY 2023	Asphalt & Concrete	Asphalt Cracksealing & Minor Repairs	\$ 6,488	
		Asphalt Sealcoating	\$ 31,949	
	Asphalt & Concrete Subtotal = \$ 38,437.00			
	Furniture	Pool Deck Furniture Replacement	\$ 3,206	
	Painting & Repairs	Metal Gates Painting	\$ 1,044	
	Refurbishment	Pool House/Ramada Refurbishment	\$ 4,581	
	Signage	Traffic & Street Name Signs Replacement	\$ 1,248	
FY 2023 Annual Expense Total = \$ 48,516				

Year	Category	Item Name	Expense	
FY 2024	Asphalt & Concrete	Concrete Partial Replacement	\$ 9,669	
	Landscaping & Irrigation	Landscaping Decomposed Granite Replenishment	\$ 12,156	
	Painting & Repairs	Metal Fence Pool Perimeter Painting	\$ 2,254	
		Metal Light Poles & Posts Painting	\$ 1,906	
	Painting & Repairs Subtotal = \$ 4,160.00			
FY 2024 Annual Expense Total = \$ 25,985				
FY 2025	Pool & Spa	Pool/Spa Pumps Replacement	\$ 5,099	
		Spa Resurfacing	\$ 2,358	
	Pool & Spa Subtotal = \$ 7,457.00			
FY 2025 Annual Expense Total = \$ 7,457				
FY 2026	Pool & Spa	Pool Heater Replacement	\$ 5,464	
Annual Expense Total = \$ 5,464				
FY 2027	Furniture	Pool Deck Furniture Replacement	\$ 3,543	
Annual Expense Total = \$ 3,543				
FY 2028	Asphalt & Concrete	Asphalt Cracksealing & Minor Repairs	\$ 7,351	
		Asphalt Sealcoating	\$ 36,199	
	Asphalt & Concrete Subtotal = \$ 43,550.00			
	Painting & Repairs	Metal Gates Painting	\$ 1,183	
		Stucco Walls Painting	\$ 8,060	
Painting & Repairs Subtotal = \$ 9,243.00				
FY 2028 Annual Expense Total = \$ 52,793				
FY 2029	Access Control	Access System Replacement	\$ 5,634	
		Card Access System Pool Replacement	\$ 2,754	
		High Desert Gate Operators Refurbishment	\$ 3,380	

Year	Category	Item Name	Expense	
FY 2029	Access Control	High Desert Gate Operators Replacement	\$ 13,146	
		Imperata Gate Operators Refurbishment	\$ 2,254	
		Imperata Gate Operators Replacement	\$ 8,764	
		Keypad Pedestrian Gate Replacement	\$ 501	
		Pool Keypad Access Systems Replacement	\$ 2,003	
	Access Control Subtotal = \$ 38,436.00			
	Asphalt & Concrete	Concrete Partial Replacement	\$ 10,955	
	Landscaping & Irrigation	Landscaping Plant Materials Replacement	\$ 10,642	
	Painting & Repairs	Metal Fence Pool Perimeter Painting	\$ 2,554	
		Metal Light Poles & Posts Painting	\$ 2,160	
		Stucco Walls Repairs	\$ 413	
	Painting & Repairs Subtotal = \$ 5,127.00			
	Refurbishment	Pool House Shower Refurbishment	\$ 2,629	
Signage	Traffic & Street Name Signs Replacement	\$ 1,450		
FY 2029 Annual Expense Total = \$ 69,239				
FY 2031	Asphalt & Concrete	Concrete Repairs/Resurfacing Pool Deck	\$ 21,736	
	Furniture	Pool Deck Furniture Replacement	\$ 3,916	
	Pool & Spa	Pool/Spa Filters Replacement	\$ 5,265	
		Water Heater Pool Area Replacement	\$ 1,448	
	Pool & Spa Subtotal = \$ 6,713.00			
	Walls & Fences	Pool Metal Fencing Replacement	\$ 15,810	
Annual Expense Total = \$ 48,175				
FY 2032	Access Control	Camera System Replacement	\$ 8,754	
	Lighting	Bollard Lights Replacement	\$ 12,145	
	Pool & Spa	Pool Resurfacing	\$ 10,256	
		Pool Chemical System Replacement	\$ 742	

Year	Category	Item Name	Expense	
FY 2032	Pool & Spa	Pool/Spa Pumps Replacement	\$ 6,072	
		Spa Heater Replacement	\$ 2,429	
	Pool & Spa Subtotal = \$ 19,499.00			
	Refurbishment	Pool House Restrooms Refurbishment	\$ 3,401	
	Roofing	Pool House Flat Roof Replacement	\$ 1,943	
		Pool House/Ramada Tile Roof Replacement	\$ 8,964	
	Roofing Subtotal = \$ 10,907.00			
Walls & Fences	Metal Gates Replacement	\$ 10,175		
Annual Expense Total = \$ 64,881				
FY 2033	Asphalt & Concrete	Asphalt Cracksealing & Minor Repairs	\$ 8,329	
		Asphalt Sealcoating	\$ 41,013	
	Asphalt & Concrete Subtotal = \$ 49,342.00			
	Painting & Repairs	Metal Gates Painting	\$ 1,340	
Annual Expense Total = \$ 50,682				
FY 2034	Asphalt & Concrete	Asphalt Resurfacing	\$ 371,046	
		Concrete Partial Replacement	\$ 12,412	
	Asphalt & Concrete Subtotal = \$ 383,458.00			
	Landscaping & Irrigation	Landscaping Decomposed Granite Replenishment	\$ 15,604	
	Painting & Repairs	Metal Fence Pool Perimeter Painting	\$ 2,894	
		Metal Light Poles & Posts Painting	\$ 2,447	
	Painting & Repairs Subtotal = \$ 5,341.00			
FY 2034 Annual Expense Total = \$ 404,403				
FY 2035	Furniture	Pool Deck Furniture Replacement	\$ 4,327	
	Pool & Spa	Spa Resurfacing	\$ 3,027	
	Signage	Traffic & Street Name Signs Replacement	\$ 1,684	

Year	Category	Item Name	Expense
FY 2035 Annual Expense Total = \$ 9,038			
FY 2036	Access Control	Access System Replacement	\$ 6,710
		Card Access System Pool Replacement	\$ 3,281
		Pool Keypad Access Systems Replacement	\$ 2,386
	Access Control Subtotal = \$ 12,377.00		
Pool & Spa	Pool Heater Replacement	\$ 7,015	
Annual Expense Total = \$ 19,392			
FY 2038	Asphalt & Concrete	Asphalt Cracksealing & Minor Repairs	\$ 9,437
		Asphalt Sealcoating	\$ 46,468
	Asphalt & Concrete Subtotal = \$ 55,905.00		
	Landscaping & Irrigation	Irrigation Systems Replacement	\$ 25,865
	Painting & Repairs	Metal Gates Painting	\$ 1,519
		Stucco Walls Painting	\$ 10,346
Painting & Repairs Subtotal = \$ 11,865.00			
FY 2038 Annual Expense Total = \$ 93,635			
FY 2039	Access Control	High Desert Gate Operators Refurbishment	\$ 4,339
		Imperata Gate Operators Refurbishment	\$ 2,893
		Keypad Pedestrian Gate Replacement	\$ 643
	Access Control Subtotal = \$ 7,875.00		
	Asphalt & Concrete	Concrete Partial Replacement	\$ 14,063
	Furniture	Pool Deck Furniture Replacement	\$ 4,781
	Landscaping & Irrigation	Landscaping Plant Materials Replacement	\$ 13,661
	Painting & Repairs	Metal Fence Pool Perimeter Painting	\$ 3,279
		Metal Light Poles & Posts Painting	\$ 2,772
Stucco Walls Repairs		\$ 530	
Painting & Repairs Subtotal = \$ 6,581.00			

Year	Category	Item Name	Expense
FY 2039	Pool & Spa	Pool/Spa Pumps Replacement	\$ 7,232
Annual Expense Total = \$ 54,193			
FY 2041	Asphalt & Concrete	Concrete Repairs/Resurfacing Pool Deck	\$ 27,903
		Concrete Replacement Pool Deck	\$ 37,170
	Asphalt & Concrete Subtotal = \$ 65,073.00		
	Pool & Spa	Water Heater Pool Area Replacement	\$ 1,858
	Refurbishment	Pool House Shower Refurbishment	\$ 3,548
	Signage	Traffic & Street Name Signs Replacement	\$ 1,956
FY 2041 Annual Expense Total = \$ 72,435			
FY 2042	Access Control	Camera System Replacement	\$ 11,237
	Pool & Spa	Pool Resurfacing	\$ 13,165
		Spa Heater Replacement	\$ 3,118
	Pool & Spa Subtotal = \$ 16,283.00		
Walls & Fences	Pool Metal Gates Replacement	\$ 2,598	
Annual Expense Total = \$ 30,118			
FY 2043	Access Control	Access System Replacement	\$ 7,992
		Card Access System Pool Replacement	\$ 3,907
		Pool Keypad Access Systems Replacement	\$ 2,842
	Access Control Subtotal = \$ 14,741.00		
	Asphalt & Concrete	Asphalt Cracksealing & Minor Repairs	\$ 10,692
		Asphalt Sealcoating	\$ 52,648
	Asphalt & Concrete Subtotal = \$ 63,340.00		
	Furniture	Pool Deck Furniture Replacement	\$ 5,284
Painting & Repairs	Metal Gates Painting	\$ 1,721	
Refurbishment	Pool House/Ramada Refurbishment	\$ 7,548	
FY 2043 Annual Expense Total = \$ 92,634			

Year	Category	Item Name	Expense	
FY 2044	Asphalt & Concrete	Concrete Partial Replacement	\$ 15,934	
	Landscaping & Irrigation	Landscaping Decomposed Granite Replenishment	\$ 20,031	
	Painting & Repairs	Metal Fence Pool Perimeter Painting	\$ 3,715	
		Metal Light Poles & Posts Painting	\$ 3,141	
	Painting & Repairs Subtotal = \$ 6,856.00			
FY 2044 Annual Expense Total = \$ 42,821				
FY 2045	Pool & Spa	Spa Resurfacing	\$ 3,885	
Annual Expense Total = \$ 3,885				
FY 2046	Pool & Spa	Pool Heater Replacement	\$ 9,005	
		Pool/Spa Pumps Replacement	\$ 8,614	
	Pool & Spa Subtotal = \$ 17,619.00			
FY 2046 Annual Expense Total = \$ 17,619				
FY 2047	Furniture	Pool Deck Furniture Replacement	\$ 5,839	
	Lighting	Bollard Lights Replacement	\$ 17,664	
	Pool & Spa	Pool Chemical System Replacement	\$ 1,079	
	Refurbishment	Pool House Restrooms Refurbishment	\$ 4,946	
	Roofing	Pool House Flat Roof Replacement	\$ 2,826	
	Signage	Traffic & Street Name Signs Replacement	\$ 2,273	
FY 2047 Annual Expense Total = \$ 34,627				
FY 2048	Asphalt & Concrete	Asphalt Cracksealing & Minor Repairs	\$ 12,114	
		Asphalt Sealcoating	\$ 59,650	
	Asphalt & Concrete Subtotal = \$ 71,764.00			
	Painting & Repairs	Metal Gates Painting	\$ 1,950	
		Stucco Walls Painting	\$ 13,281	

Year	Category	Item Name	Expense	
		Painting & Repairs Subtotal = \$ 15,231.00		
FY 2048 Annual Expense Total = \$ 86,995				
FY 2049	Access Control	High Desert Gate Operators Refurbishment	\$ 5,571	
		High Desert Gate Operators Replacement	\$ 21,663	
		Imperata Gate Operators Refurbishment	\$ 3,714	
		Imperata Gate Operators Replacement	\$ 14,442	
		Keypad Pedestrian Gate Replacement	\$ 825	
	Access Control Subtotal = \$ 46,215.00			
	Asphalt & Concrete	Concrete Partial Replacement	\$ 18,053	
	Landscaping & Irrigation	Landscaping Plant Materials Replacement	\$ 17,537	
	Painting & Repairs	Metal Fence Pool Perimeter Painting	\$ 4,209	
		Metal Light Poles & Posts Painting	\$ 3,559	
Stucco Walls Repairs		\$ 681		
Painting & Repairs Subtotal = \$ 8,449.00				
FY 2049 Annual Expense Total = \$ 90,254				
FY 2050	Access Control	Access System Replacement	\$ 9,519	
		Card Access System Pool Replacement	\$ 4,654	
		Pool Keypad Access Systems Replacement	\$ 3,385	
	Access Control Subtotal = \$ 17,558.00			
FY 2050 Annual Expense Total = \$ 17,558				
FY 2051	Asphalt & Concrete	Concrete Repairs/Resurfacing Pool Deck	\$ 35,818	
	Furniture	Pool Area Ramada Furniture Replacement	\$ 7,537	
		Pool Deck Furniture Replacement	\$ 6,452	
	Furniture Subtotal = \$ 13,989.00			
	Infrastructure	Sewer Connection Partial Replacement	\$ 97,598	
Landscaping & Irrigation	Irrigation Street Drains Replacement	\$ 56,867		

Year	Category	Item Name	Expense
FY 2051	Lighting	Street Lights Replacement	\$ 31,654
	Pool & Spa	Pool/Spa Filters Replacement	\$ 8,675
		Water Heater Pool Area Replacement	\$ 2,386
	Pool & Spa Subtotal = \$ 11,061.00		
			FY 2051 Annual Expense Total = \$ 246,987