



High Desert  
Guidelines  
For  
Sustainability -  
Estate and  
Premier  
Homes

Revised  
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In the mid-1990s as High Desert was being planned, the land was the remaining enclave of developable land between the Sandia Mountains and the eastern flank of the City of Albuquerque. In this dynamic zone, where nature and mankind merge, a special process unique to land development began to unfold.

As stewards of this land we are committed to the vision of a community conceived, designed and built to preserve nature's intricate balance.

Our goal is an integrated and sustainable community which honors its Southwestern roots and natural habitats while providing a place that will endure.

### **High Desert Residential Owners Association**

## **The Origins of High Desert**

The 1,000 acres that comprise High Desert have a rich legacy. Archaeological evidence indicates the area was occupied for generations by ancient and ancestral Puebloan peoples. Though the original papers to the land that came to be known as the Elena Gallegos grant do not survive, several partial documents submitted to the Court of Private Land Claims during the adjudication of the grant in the late nineteenth century shed light on the grant's early history. The tract of land which came to be known as the Elena Gallegos grant was originally granted to Diego Montoya by Diego de Vargas in 1694, during the re-conquest of New Mexico following the Pueblo Revolt of 1680. It is possible that Hispanic colonists occupied the grant prior to the Pueblo Revolt, though no documentary evidence of this occupation survives today. The grant was reissued in 1712 and in the same year was either given or sold by either Montoya or his son to Elena Gallegos whose name came to be associated with the area into modern times. Interestingly, Gallegos was the widow of Jacques Grolet/Santiago Gurule, who was a former member of the ill-fated La Salle expedition (1687) in which French explorers attempted to stake a claim in Spanish territory. Through the years the land passed from generation to generation. In 1934, 9,000 acres of the grant was acquired by Albert Simms, a rancher, financier and U. S. Congressman along with his wife Ruth Hanna McCormick Simms. Upon Mr. Simms' death in 1964, the land was willed to Albuquerque Academy.

The City of Albuquerque ensured the preservation of the major portion of the land through purchase of 7,800 acres from the Academy. The City later conveyed the land to the Federal government, which incorporated it as part of the Cibola National Forest and Sandia Mountain Wilderness. The 680 acres retained by the City were converted to open space and the remaining acreage is the spectacular site that is now the community of High Desert.

## **Sustainable Development**

A resource as precious as the land which comprises High Desert demands the utmost sensitivity. Years of exacting analysis, planning, design and exhaustive review were applied to determine the feasibility of integrating an active community within this delicate, high desert ecosystem.

The mandate set for High Desert was to achieve “sustainable development.” Sustainable development is a concept defined by the United Nations Commission of the Environment as achieving stability for both physical and social systems by meeting the needs of current generations without compromising the ability of future generations to fulfill their needs.

At High Desert sustainability means design and construction in ways that are intended to preserve the resources, ecosystem and natural beauty of the property. Development respects nature. A large percentage of the land remains untouched in order that the rich habitats for plants and animals may continue to thrive. The arroyos remain in their natural state with only the vegetation enhanced to increase the wildlife habitat.

Conservation systems are designed to yield improved quality of life and sustainability. Water harvesting and conservation goals contribute to a continuing and plentiful supply of quality water. The application of design strives to enhance the visual and air quality at High Desert through sensitive siting of homes, landscaping, and use of lighting and construction standards. In addition, an extensive network of trails and pedestrian connections were planned to encourage fewer automobile trips within the community.

## Preserving the Vision

The prescription for designing and building a community which will be sustainable are set forth in these Guidelines. The criteria are provided as a starting point for the homeowner and High Desert to collaborate in preserving the vision for this remarkable community. Our goal is to make High Desert one of the most desirable places to live in the Southwest -- a community which balances the needs of the homeowner with a concern for the future of the environment.



### BLUE GRAMA

*Blades of grass stand proud and tall on the High Desert plain. As they prepare to reproduce, they assume a graceful spiral shape to cast their seeds to the earth.*

*Nature's regenerative powers must be the inspiration for man's forms and systems.*

## **The Role of the High Desert New Construction Committee**

The New Construction Committee (NCC), of the High Desert Residential Home Owners Association (Association or HDROA), has exclusive jurisdiction over all original construction in High Desert. The NCC will review and approve all plans and applications for home construction, in accordance with the Guidelines for Sustainability (Guidelines) and will administer the Guidelines. Each proposed site plan and building design will be evaluated for appropriateness as to its compliance with the objectives of these Guidelines. All construction in High Desert must be in compliance with these Guidelines.

The NCC shall have full authority to amend the Guidelines; provided, however, any amendments to the Guidelines shall be subject to and shall not be effective without the approval of the HDROA Board of Directors. Amendments to the Guidelines shall apply only to construction commenced after the date of the amendment and shall not apply to require modifications to or removal of structures previously approved. The NCC and MC of the High Desert Residential Owners Association, effective August 1, 2013 shall use this amended version of the Guidelines when reviewing all applications for construction and modifications. This amended version of the Guidelines replaces and supersedes all previous versions for new construction and modifications in High Desert.

Any proposed modifications to homes, after a successful NCC final inspection at the completion of initial construction, will be administered by the MC in accordance with these Guidelines.

## **How to Use these Guidelines**

This document is structured for easy review and reference. It begins by introducing the design objectives for High Desert and describes the approach to site planning, architecture and landscape design.

It defines the steps for review and approval of projects within High Desert and presents the procedures to be followed during construction.

These Guidelines may not address every site plan, building, approval or construction issue at High Desert. The NCC may impose requirements or conditions for approval that are additional to these requirements or conditions specifically indicated in these Guidelines and may make interpretations of these Guidelines.

Community organizational documents, including the Declaration, By-Laws, Articles of Incorporation for the Association, the Covenants, Conditions and Restrictions (CC&Rs), and the various Guidelines documents may be obtained from the High Desert Office or the HDROA website at <http://www.highdesertliving.net>.

## **High Desert Design Guidelines for Estate and Premier Homes**

The Guidelines are separated into various sections for convenience. However, the Guidelines should be completely read to fully comprehend their intent. The Guidelines are divided into the following sections:

**Site Planning**

**Landscape**

**Architecture**

**Procedures for Approval Processing**

**Construction Regulations**

The architectural guidelines and procedures described or depicted in these Guidelines are the criteria which must be met in order to build in the Premier and Estate areas of High Desert.

In addition, these Guidelines are not, and are not to be construed as, a recommendation or endorsement of any particular plan, design, or building material which may be contained herein the High Desert Residential Owners Association, Inc., its Board of Directors, NCC, or MC.

Neither the Association, the Board, NCC, or MC shall be held liable or bear any responsibility for any injury, damages, or loss arising out of the manner or quality of construction on any property within High Desert or of any modifications thereto.

For purposes of this document the following definitions apply:

**Owner:** A person who holds fee simple title to real property, or a person acting lawfully on behalf of the person who holds title.

**Engineer:** A person licensed by the State of New Mexico to practice engineering. The specific license must be appropriate to the work – civil, structural, hydrologic, etc.

**Surveyor:** A person licensed by the State of New Mexico to practice land surveying.

**Builder:** A person under contract or otherwise responsible to the owner for construction on or modification to property held by the owner.

**Premier Home:** A home site in either Overlook or Trailhead.

**Estate Home:** A home site in High Desert that is not in a builder community, Overlook, or Trailhead.

**Light Reflective Value (LRV)** In architecture, Light Reflectance Value (LRV) is a measure of the percentage of visible and useable light that is reflected from a surface when illuminated by a light source. The color black has a very low LRV and white has a very high LRV number. LRV is a measurement applied to paint and elastomeric coating and is not typically applied to other roofing materials.

**Solar Reflective Index (SRI)** The Solar Reflectance Index (SRI) is a measure of the roof's ability to reject solar heat, as shown by a small temperature rise. It is defined so that a standard black is 0 and a standard white is 100. SRI is a measurement commonly used for roofing products.

**Note:** In these Guidelines, unless otherwise specified, use of the term New Construction Committee (NCC) should be taken to include the Modifications Committee (MC) where modification to existing construction in High Desert is applicable.



**Contents**

**SITE PLANNING ..... 12**

- Site Definitions and Requirements ..... 12
- Floor Area Ratio ..... 15
- Combining Lots ..... 15
- Building Envelope Changes..... 15
- Grading Concepts..... 16
- Drainage for Estate and Premier Homes..... 18
- Drainage..... 18
- Parking ..... 20
- Driveways ..... 21
- Site Walls..... 21
- Tennis Courts and Other Sport/Recreational Surfaces ..... 26
- Exterior Lighting Standards for High Desert..... 27
- Signage..... 32
- Address Identification..... 33
- Mailboxes..... 33
- Other Site Design Features ..... 34
- Utility Meters/Mechanical and Electrical Equipment..... 35

**LANDSCAPE CONCEPT FOR HIGH DESERT ..... 38**

- Landscape and Water Conservation..... 38
- Lot Landscape Areas..... 39
- Plant Communities and Arroyos of High Desert ..... 42
- Non-Native Species ..... 43
- Landscaping Guidelines..... 43
- Approved and Prohibited Plant List..... 44
- Program for Water Conservation ..... 45
- Landscape Irrigation ..... 45
- Pools and Water Features..... 45
- Water Harvesting ..... 46

**ARCHITECTURE ..... 47**

- Architectural Style ..... 47
- Building Heights ..... 50
- Building Massing..... 53

|  |           |
|--|-----------|
| Accessory Living Quarters .....                      | 54        |
| Materials .....                                      | 54        |
| Colors .....   | 56        |
| Roofs .....  | 58        |
| Chimneys .....                                       | 60        |
| Doors and Entries.....                               | 61        |
| Garage Doors .....                                   | 62        |
| Windows and Trim .....                               | 62        |
| Columns and Arches.....                              | 63        |
| Arches .....   | 63        |
| Elevated Decks.....                                  | 64        |
| Screens, Shades and Accessory Structures .....       | 64        |
| Play Structures .....                                | 65        |
| Exterior Artwork.....                                | 65        |
| Preserving Air and Visual Quality .....              | 66        |
| <b>PROCEDURES FOR APPROVAL .....</b>                 | <b>68</b> |
| Design Review Procedures .....                       | 68        |
| Cash Construction Deposit .....                      | 68        |
| Approval Process .....                               | 68        |
| Pre-Design Meeting .....                             | 69        |
| First Plan Review Submittal .....                    | 69        |
| Final Plan Approval .....                            | 72        |
| Resubmittal Of Drawings .....                        | 72        |
| Pre-Construction Conference.....                     | 72        |
| Construction Review.....                             | 72        |
| Additional Construction and/or Exterior Changes..... | 72        |
| Variance from Guidelines and Procedures .....        | 73        |
| Post Construction Submittal/Release Of Deposit ..... | 73        |
| <b>CONSTRUCTION REGULATIONS .....</b>                | <b>74</b> |
| Responsibility .....                                 | 74        |
| Pre-Construction Conference.....                     | 74        |
| Work In Progress-Inspection .....                    | 75        |
| Commencement Of Construction .....                   | 75        |
| Non-Waiver.....                                      | 75        |

|   |    |
|---|----|
| Construction Trailers, Etc .....                      | 75 |
| Fencing.....  | 75 |
| The Transition Area .....                             | 76 |
| The Natural Area.....                                 | 76 |
| Debris And Trash Removal .....                        | 77 |
| Sanitary Facilities.....                              | 77 |
| Vehicles And Parking Areas.....                       | 77 |
| Conservation Of Landscape Materials.....              | 78 |
| Excavation Materials .....                            | 78 |
| Blasting .....  | 78 |
| Restoration Or Repair Of Other Property Damages ..... | 78 |
| Dust and Noise Control.....                           | 79 |
| Construction Access.....                              | 79 |
| Construction Signage .....                            | 79 |
| Miscellaneous and General Practices.....              | 79 |
| Preservation of Archaeological Sites .....            | 80 |
| Daily Operation.....                                  | 80 |
| Final Inspection.....                                 | 80 |
| Enforcement.....                                      | 81 |

# **SITE PLANNING**

## **Blending Development with the Natural Environment**

Site Planning at High Desert is the melding of a number of design and land planning principles that will allow the vision for this exceptional community to become a reality. Commitment to conservation, preservation and the enhancement of the natural environment is balanced with sensitivity to the economy and efficiency of contemporary building and construction. Issues of positioning buildings on the land to minimize their impact on the terrain and natural systems are set forth in simple and achievable guidelines.

## **Site Definitions and Requirements**

### **Building Envelope**

Estate and Premier lots at High Desert have been configured to capitalize on the best features of the land. The lots are large so that each home can be located in a manner that allows the enjoyment of the scenic beauty, extraordinary views and natural environment. To ensure that these qualities are protected, each Estate and Premier lot has a designated area within which building can occur, called the “Building Envelope.” This boundary delineates the maximum area in which any proposed building or improvement and non-native landscape may be sited.

- The Building Envelope is predetermined for each lot and is identified on the plat approved through the City of Albuquerque (City) and recorded in the office of the County Clerk. This building limitation is enforced by the NCC, MC, the City of Albuquerque, and the Association.
- No part of the residence, or any wall, fence, or any other structure, or non-native landscaping may be located outside the Building Envelope, except as allowed for in these Guidelines.
- The Building Envelope is configured to respond to topography, to maintain natural drainage patterns, to avoid impact on significant vegetation and to create and preserve view opportunities.
- Development plans should give early consideration to planned future expansions and uses, such as guesthouses, shade structures, swimming pools, etc., so they may be accommodated within the Building Envelope.

### **Natural Area**

The Natural Area encompasses that portion of the lot which lies outside of the Private Area (as defined below), building improvements, including backyards and enclosed patios. Generally, the

Natural Area is outside the Building Envelope, but it need not be if a house and Private Areas do not consume all of the Building Envelope.

- The Natural Area must remain in, or be restored to, a natural condition, in accordance with these Guidelines.
- Sidewalks and a driveway to the street may encroach into or through the Natural Area, with the approval of the NCC.
- The Natural Area may be enhanced with native landscaping, from the approved list of plants and may be irrigated in accordance with Landscape section of the Guidelines, if approved by the NCC.
- Water harvesting and storm water drainage improvements and utility lines and facilities may be placed in the Natural Area, if approved by the NCC.
- Grading may take place in the Natural Area, with the approval of the NCC. However, any such grading should be minimized and the area restored to harmonize with the existing topography and re-vegetated.
- Retaining wall improvements made of natural material, such as stone or boulders may be located in the Natural Area. Retaining improvements made of manmade materials may not be located in the Natural Area.

### **Transition Area**

During construction this is the area between the construction fence and the wall of a residence or planned improvement. The Transition Area cannot encroach into platted or recorded drainage easements. The Transition Area must be restored to a natural condition upon completion of construction in accordance with the landscape concept in the Landscape section of the Guidelines.

### **Private Area**

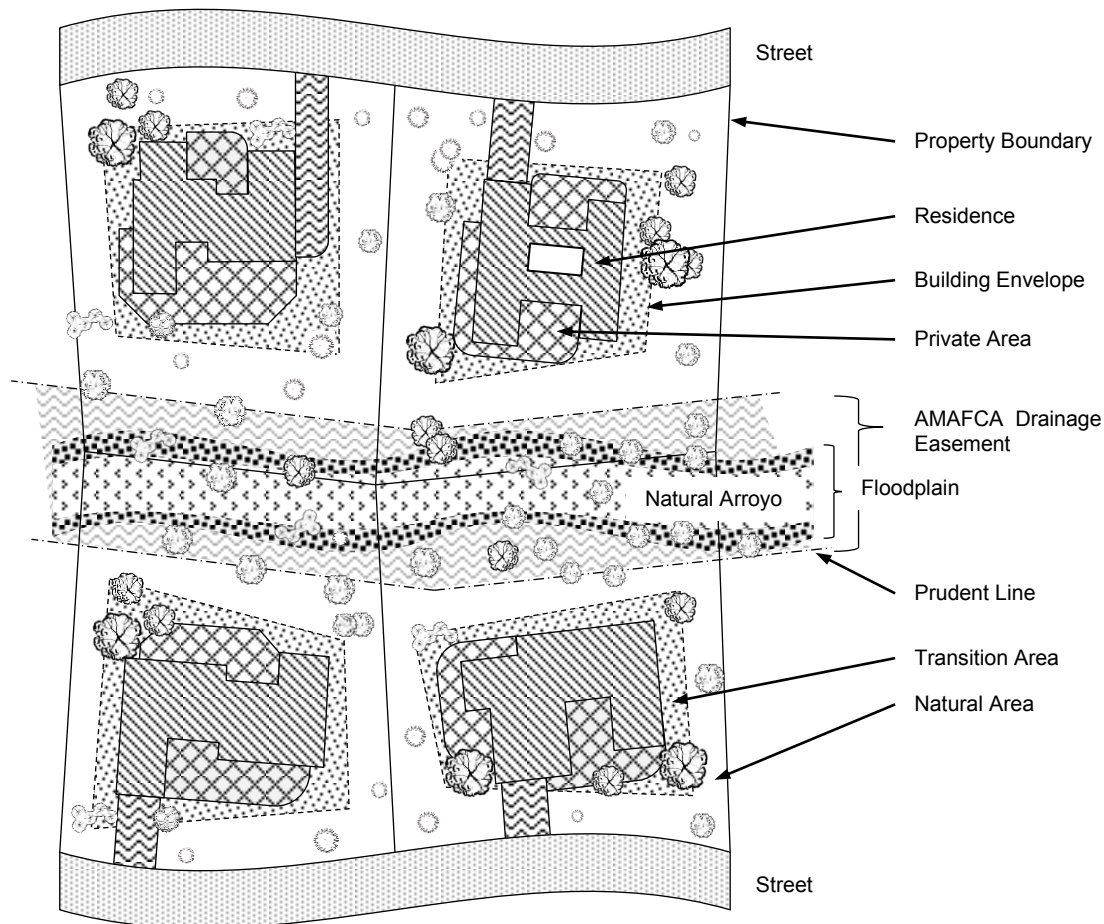
Those parts of the Building Envelope that, for the most part, are not visible from adjacent properties, streets, or public spaces and are contained within walls or structures.

### **Drainage Easements/Arroyos**

A fundamental intent of the High Desert plan is combining development with the preservation and enhancement of the natural arroyos connecting the City to the mountains. All of the major arroyos in the Estate and Premier home areas are maintained in their natural landforms, and the vegetation is preserved and enhanced. The engineering firm employed by High Desert, in conjunction with the Albuquerque Metropolitan Arroyo Flood Control Authority (AMAFCA) performed studies on each arroyo system, which resulted in easements being placed over each of the arroyo systems. The easements are granted jointly to AMAFCA and the Association. The boundary lines of the easements are referred to as the Erosion Limit Line, or Prudent Line. The

easement over each of the arroyo systems provides the Association the obligation and right to perform minor erosion and landscape maintenance within the easement. AMAFCA has the obligation and right to perform more serious erosion control and other maintenance issues. The property Owner is relieved from the necessity of maintaining this area. These Arroyo Easements also preserve their open space and natural scenic qualities.

- No improvements, driveway crossings, culverts, bridges, utility crossings, drainage improvements, etc., may be placed in the arroyo easements without obtaining an encroachment license from AMAFCA (at expense of Owner) and approval of either the NCC or MC.
- Water harvesting facilities may be placed in the easements only after obtaining an encroachment license from AMAFCA and approval of either the NCC or MC.
- Arroyo easements may be located on the private property of an individual lot owner, but are not a trail system, or open to the public.



## **Floor Area Ratio**

The ratio of the heated floor area (including multiple stories) of the structures to the Lot. In order to insure houses are in appropriate proportion to their Lot, the following Maximum Floor Area Ratios shall apply: Estate Lot 0.30, and Premier Lot 0.65.

## **Combining Lots**

Two commonly owned contiguous lots may be combined into a single lot with approval of the NCC, the Association, and the City of Albuquerque. The Chair of the NCC and the President of the Association must sign the replat prior to submittal to City, and it will not take effect until after the change is approved by the City and the replat is recorded by the County Clerk.

## **Building Envelope Changes**

Building Envelopes may be reconfigured or changed in size if approved by the NCC and after the change is officially approved through the process defined by the City, including a replat of the lot.

- Before the NCC will consider a proposal to reconfigure a Building Envelope the owner of the lot must obtain written approval of such reconfiguration from all affected lot owners, as determined by the NCC, and must furnish the NCC with all such lot owner approvals in writing.
- If an Owner is combining two contiguous lots and wishes to reconfigure or change the size of a Building Envelope, the Building Envelope of the combined lot may not be larger than 18,000 square feet. In this circumstance, the NCC will consider a request to reconfigure a Building Envelope only after written approval of such reconfiguration has been given by all affected lot owners to the NCC. If a Building Envelope is being increased in size beyond 12,000 square feet and has been approved by the NCC, the owner will need to obtain a variance to the High Desert Sector Development Plan from the City and replat the Building Envelope through the City process, all at the owner's expense.
- Any replat of a Building Envelope or lot requires the signature of the Chair of the NCC and the President of the Board of Directors on the proposed replat, before the replat can be presented to the City for processing.
- Approval of any Building Envelope reconfiguration by the Association does not imply or guarantee City approval.
- Once a Building Envelope reconfiguration has been approved by affected lot owners, the Association, the City and the replat recorded, any additional reconfiguration, including a reconfiguration back to the original configuration, must again be

approved in writing by the affected lot owners, the Association, the City and a replat of the Building Envelope through the City process.

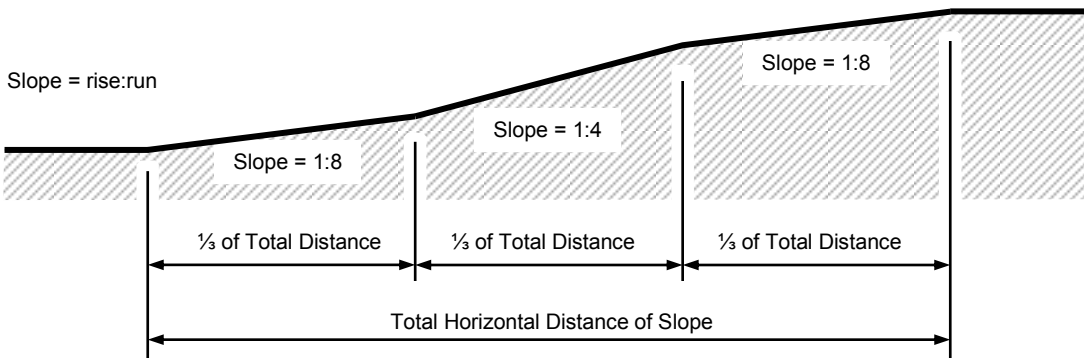
- In the case where contiguous lots are combined, a reconfigured Building Envelope may span the former lot line if all the approvals noted in these Guidelines are received.
- In the case where two lot owners acquire an intervening lot, divide the intervening lot and combine the divided portions of the lot into theirs, through the process described in these Guidelines, and request a Building Envelope reconfiguration, the NCC will not approve an increase in size beyond 15,000 square feet for either of the two Building Envelopes.
- The NCC reviews carefully requests to reconfigure Building Envelopes because of the possibility that reconfiguration could negatively impact views from nearby lots and /or have negative drainage, or other impacts and thereby be unacceptable. Approval of a Building Envelope reconfiguration by affected lot owners does not guarantee NCC approval. Any such approval is at the absolute discretion of the NCC and the Association President.

## **Grading Concepts**

**Design Objectives:** To create natural appearing slope transitions between grade changes, integrate buildings and site improvements into the site, minimize the height impact of structures, minimize the negative impacts of grading during and after construction, and encourage the use of landform as a landscape design element. Balancing of "cut" and "fill" are strongly encouraged and import of "fill" material is strongly discouraged. In the interest of minimizing disturbance to the existing terrain and vegetation it may be appropriate to use natural materials as a retaining structure when slope grades approach or exceed 1:3. Slope is defined here as the vertical rise over the horizontal run. All slope transitions should be re-vegetated with approved materials or landscaped to appear as natural as possible. Use of stem walls and internal steps within a residence may be required to minimize lot grading and to preserve natural land forms as much as possible. Site grading will need to take drainage issues into consideration and respect natural drainage patterns as much as possible. Where possible the profile of a grade change should be gradual with the slope transition ratios shown in this diagram.



## Slope Transition



- Suggestions to reduce excessive grading
  - Building with internal steps and multiple levels.
  - Low retaining walls and building stem walls.
  - Berms and landscaping to blend cuts and fills.
  - On cut slopes use house and Private Area walls for retaining.
  
- The NCC may require a building site to be cut below natural grade in order to reduce the visual impact of a structure and help ensure that any structure integrates well with the site and community.
- The import of fill material should be minimized and fill material must be spread, watered, and compacted when deposited to avoid the appearance of a dump site.
- Cuts below natural grade at the highest elevation within the Building Envelope, to reduce the visual impact of structures, are encouraged and may be required by the NCC.
- The creation of stockpiles must be approved by the NCC. Grading plans must include information about stockpiles including the location, size, erosion control measures and length of time that they will remain. Stockpiles should be stored within the Building Envelope or the driveway area.
- Fills should be balanced, if possible, with cuts from the site. Fill should generally be kept to a minimum to reduce visual impact.
- Buildings and Private Areas with internal steps and multiple levels are encouraged to minimize the need for cut and fill.
- No cutting, filling or earthwork disturbance may overlap onto adjacent property.
- All Grading Plans must be prepared and stamped by an engineer.

- After completion of construction the owners' engineer must certify that the grading was performed in substantial compliance with the NCC approved plan before the Construction Deposit will be returned.
- All disturbed areas shall be re-vegetated using the High Desert Seed Mix within 30 days of final grading, but no later than completion of the home. If satisfactory germination is not achieved the area may need to be re-vegetated.
- No grading or fill shall occur in the Natural Area without NCC approval.
- Cut slopes should use the residence and Private Area walls for retaining. Refer to the site wall section of the Guidelines for more information on retaining wall requirements.
- The NCC may require additional engineering to minimize lot grading and to preserve natural land forms.

## **Drainage for Estate and Premier Homes**

### **Estate Homes**

Estate lots generally do not have vertical curbs and are designed to allow sheet flows of storm water onto adjoining lots. The streets are not designed to carry storm water flows. Estate lots are a minimum of 1/2 acre in size, but generally average approximately one acre in size, and they have Building Envelopes that generally range in size from 9,000 square feet to 12,000 square feet. Each Estate home will require a grading and drainage plan, which must be prepared by an engineer, which will require management of flows from the developed areas of the lots through water harvesting or other techniques that prevent negative impacts on down slope neighbors or arroyos.

### **Premier Homes**

Premier lots are located in The Trailhead and The Overlook at High Desert. In these areas streets have vertical curbs and are designed to prevent storm water from flowing on to adjoining lots and are designed to carry storm water flows within the street. Premier lots range in size from 1/3 acre to 1 acre, but average approximately 1/ 2 acre in size, and their Building Envelopes range in size from 6,000 square feet to 9,000 square feet. Each Premier home will require a grading and drainage plan, which must be prepared by an engineer and will require management of flows from the developed areas of the lots through drainage to the street, water harvesting, or other techniques that prevent negative impacts on down slope neighbors or arroyos. Management of flows to streets, using non-erosive techniques is encouraged.

## **Drainage**

**Design Objectives:** To provide safe, effective and efficient drainage and minimize deviation of the natural flow of run-off on the property. To preserve drainage easements and arroyos so they blend into the community and serve as open space and landscape amenities.

- The primary function of the natural arroyos in High Desert is to safely convey the upland storm water flows through the property. Arroyos may not receive free discharge of storm water flows from adjacent developed lots that could cause damage to the natural arroyo system. Lots require management of flows from the developed areas of the lots through water harvesting or other techniques that prevent negative impacts. Flow into the natural arroyos should approximate that which occurred prior to development of the Lot (historical flows). Techniques to assure compliance with these provisions must be defined in drainage plans, prepared and stamped by an engineer, for each lot, and approved by the NCC prior to the start of construction.
- Adjoining properties shall be protected from flooding. Do not alter the existing drainage patterns of a site affecting the quantity of water that drains onto adjacent properties unless the changes are part of an overall drainage plan and provisions are made to accommodate altered drainage patterns and the written consent of the owner of the affected property has been obtained and provided to the NCC.
- Set finish floor elevations according to federal and local flood requirements and to conform to grading concepts previously discussed.
- Always drain water away from buildings.
- For Premier lots uphill from the street, all down spouts shall discharge to the front of the house and onto the driveway or piped to the street through the curb.
- For all types of lots no direct roof drainage may be discharged to the Natural Area outside the Building Envelope, unless approved by the NCC with the proper erosion protection and ponding systems, supported by a hydrology study.
- The owner may enhance vegetation on the lot, including the area of any drainage easement, through the addition of plant materials which are native to the vicinity of the property and on the approved High Desert Plant List. However, the addition of such native plant materials shall not reduce or restrict arroyo flows or redirect arroyo flows to cause damage. In general, most specimens, especially woody varieties, will only be allowed along arroyo banks or in vegetated “islands” in the middle of the arroyo in areas which will not impair arroyo flows or induce bank erosion.
- The owner shall be responsible for foundation design and its relationship to drainage management techniques employed.
- The grading and drainage plan must be prepared by an engineer and approved by the NCC, prior to beginning of any construction.
- A hydrology study must be performed by the owner’s engineer.
- On lots downhill from the street, all roof drainage may be discharged into the rear yard as a drainage management technique. No roof drainage or concentrated flows may be discharged into the Natural Area outside the Building Envelope, unless erosion protection

and ponding systems are designed and approved by the NCC. Drainage from the rear yard may be drained through openings in the Privacy Wall at no less than four foot intervals. These openings shall be placed at the same outside elevation, when possible, and shall be approximately 2.5 inches above the finished elevation of the yard. For Estate lots uphill from streets, the same technique may be used in front yard or courtyard areas.

- On lots downhill from the street, extreme care and attention shall be paid to the grading of driveways and drive pads to insure storm water run-off will not enter the garage or the house. Where concentrated flows leave driveways and drive pads, erosion protection shall be provided to eliminate downstream impacts outside the Building Envelope.
- All drainage improvements must be completed and functioning properly at the time the house is completed, not later, as a part of the landscape plan implementation.
- All grading and drainage improvements must be constructed in substantial compliance with the grading and drainage plan approved by the NCC.
- If water harvesting facilities are to be constructed in arroyo areas that have easements granted to AMAFCA, an encroachment license must be obtained from AMAFCA at the expense of owner and furnished to the NCC before such a plan will be considered by the NCC.
- Upon completion of construction the owner must submit a certification from the owner's engineer that the grading and drainage improvements were built in substantial compliance with the Grading and Drainage Plan approved by the NCC. This certification must be received and approved before the Construction Deposit will be returned to the owner.
- The NCC may make field inspections of grading and drainage during construction or at the time the certification is received from the owner's engineer.

## **Parking**

**Design Objective:** To allow each residence adequate parking while minimizing the visual and drainage impacts of the parking areas.

- Each lot shall contain an enclosed garage, either attached or detached from the home structure with parking space for at least two automobiles.
- A minimum of two additional parking spaces should be provided on the lot to accommodate guest parking. On street parking shall not be counted in satisfying this requirement.
- Views of guest parking areas from adjacent lots, streets, or public spaces must be mitigated by screen walls, landscaping or a combination of screen walls and landscaping. (Refer to Site Walls for requirements.)

- No exterior storage of recreational or commercial vehicles, trailers, boats or other recreational equipment will be permitted on any lot.

## **Driveways**

**Design Objective:** To minimize the visual and drainage impacts of the paved surface area.

- Driveways should be located so as to minimize their visual impact on important natural features of a lot such as large or significant plant materials, washes or drainage ways and to minimize disruption of the existing landscape and landform.
- No driveway entrance shall be designed as a “drive under” using beams or arches spanning the driveway, no driveway entrance feature shall exceed 48 inches in height, and no mail box shall exceed 56 inches in height.
- Driveway widths and surface area should be minimized.
- Only one driveway connection from the street is permitted for each lot.
- Unless required or specifically approved by the NCC, driveways will not be allowed off of major streets. (Spain, Academy, High Desert, Cortaderia, Imperata, and Blue Gramma)
- Use of gravel, decomposed or crushed granite or other such material is encouraged.
- Exposed aggregate concrete, colored concrete, flagstone, brick, native gravel or black asphalt are acceptable driveway paving materials.
- The coloring of concrete should reflect the warm rich desert hues, be low in reflectivity and compatible with the surrounding natural environment.
- Uncolored concrete may not be used, unless used with exposed aggregate.
- With the approval of the NCC, bollards, planters or gate posts may be allowed at the driveway entrance to the street.

## **Site Walls**

**Design Objective:** The Southwest has a tradition of using walls to enclose outdoor spaces and to extend building masses and living areas into the landscape. Traditional walls were generally used as defensive measures and/or to keep out animals. High Desert seeks to apply this tradition without creating the harsh maze found in some suburban developments. Where possible, view walls and low walls are preferred to promote an open and inviting residential community and help preserve enjoyment of the natural environment.

Southwestern walls are typically constructed with considerable mass and thickness. View walls at High Desert include open structures that may appropriately be called fences but are

structurally supported by pylons with sufficient mass to create a wall-like appearance.

### Site Wall Definitions

**Privacy Walls, or Courtyard Walls:** Walls placed on or within the Building Envelope to provide privacy between homes, or to provide screening of less desirable views. Privacy Walls enclose Private Areas and are attached to buildings.

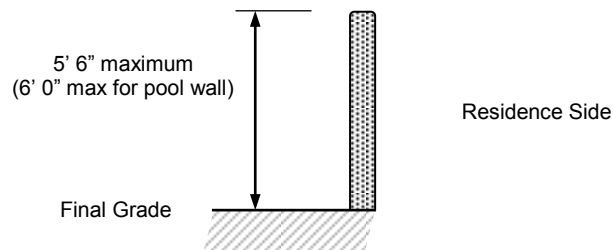
**View Walls:** Walls that provide security but allow views through to open space or other amenities.

**Retaining Walls:** Walls that structurally create transitions between grade changes, integrate grade changes; integrate buildings with their site and which minimize the impact of grading.

### Site Wall Requirements

- Where appropriate, walls should be extensions of the building.
- Walls must be constructed of materials and colors which match, or complement the building exterior.
- View Walls and Privacy Walls should be as low as possible with a maximum exposed height of 5 feet - 6 inches, viewed from the exterior of the wall. However, this measurement may be 6 feet if the wall system encloses a swimming pool.

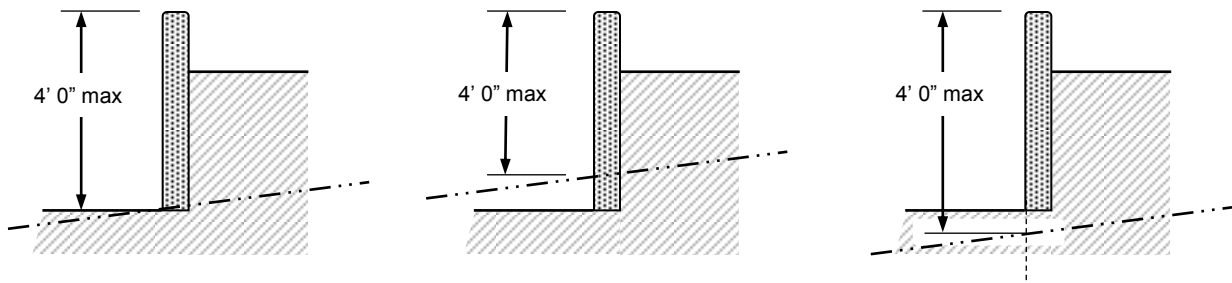
#### View or Privacy Wall



- Broken glass, razor/concertina wire, etc., on top of walls is prohibited.
- Retaining walls, immediately adjacent to or connecting with a building, must be constructed of a material that visually matches, or complements the exterior building material, or that is an integral material in the landscape.
- No exposed face of a retaining wall shall exceed four feet in height as measured from the outside of the wall from the natural grade to the top of the wall, unless it is a residence wall and approved by the NCC.

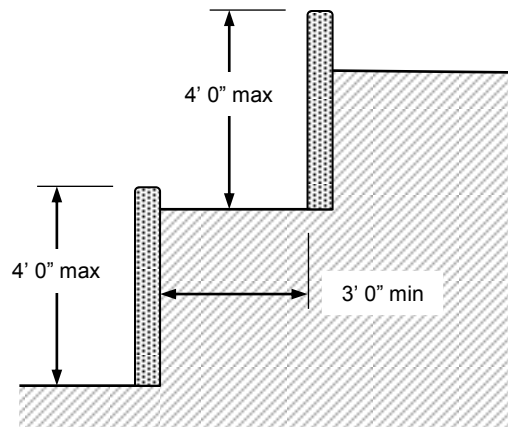
- Within the Building Envelope, retaining walls may be constructed of man-made materials, however, in the Natural Areas of the lot any visible material used in the construction of a retaining wall must be a natural (moss rock, flagstone or boulders) and not man-made material.
- Retaining walls, if required within the Building Envelope, cannot exceed four feet in height as viewed from the exterior. If more than four feet is needed, the retaining wall system must be terraced with a minimum three feet horizontal separation between each wall. The terraced area must be landscaped, with approved material in accordance with a plan approved by the NCC.

### Retaining Wall



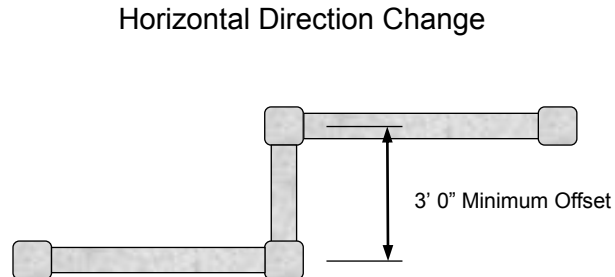
Retaining walls shall not exceed 4' 0" in height as measured from the outside top of the wall to the point at which the exterior face of the wall (or its vertical extension) meets the natural (original) grade except if a residence wall is approved by the NCC.

### Terraced Retaining Walls



## Horizontal Direction Change In View/Privacy Wall

When a wall changes direction the resulting “leg” should be no less than 3 feet in length, or other appropriate and proportional length.



## Wall materials and designs appropriate for use at High Desert

- Plaster or stucco finish or material integral in texture and color with the building.
- Designs should incorporate stepping or other techniques to achieve massing.

## Wall materials and designs which may be used with approval of the NCC

- Ornamental iron
- Pipe rail (horizontal) 2" or larger
- Tube rail or grid (square)
- Stone
- Precast concrete balusters and rails
- Split face block

## Wall materials and designs which may not be used at High Desert

- Thin wingwall designs
- Siding-wood or metal
- Exposed masonry
- Wood picket
- “Coyote” fence (typical to New Mexico)
- Other metal/wire fencing



- Chain link, with or without metal/fiberglass slats (except during construction or around sports areas)

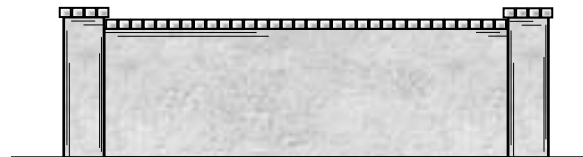
## Wall Design

The walls shown below are designs that may occur throughout the community. Any walls for Estate and Premier homes should be influenced by the design characteristics of these walls.

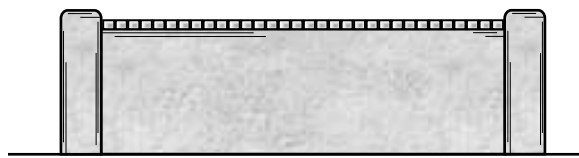
### Typical Wall Designs



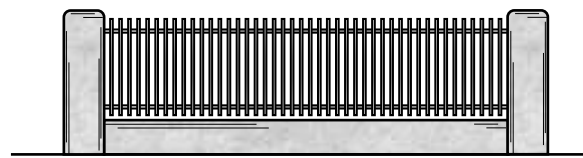
Overall Stucco Finish



Stucco Finish With Brick Cap

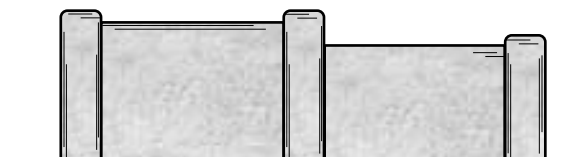


Stucco Finish With Brick Cap

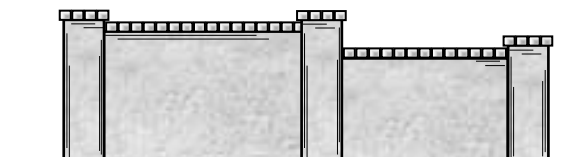


Stucco Finish Columns and Base with Metal Grille

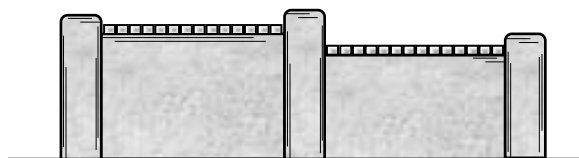
### Typical Wall Transitions



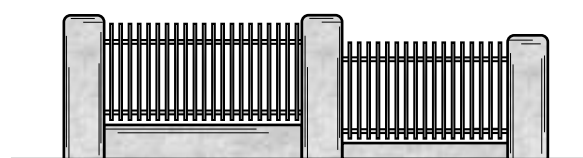
Overall Stucco Finish



Stucco Finish With Brick Cap



Stucco Finish With Brick Cap



Stucco Finish Columns and Base with Metal Grille

## Tennis Courts and Other Sport/Recreational Surfaces

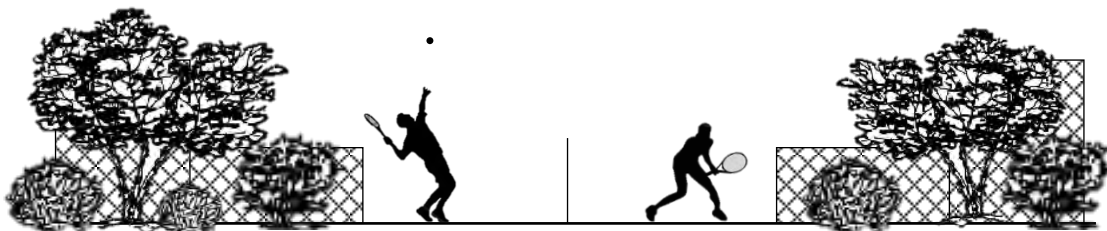
**Design Objectives:** To create the most inconspicuous tennis court or sport/recreation area possible; must be located completely within the Building Envelope.

- Any grading required to create a level playing surface must achieve a balance of cut to fill.
- The playing surface must be screened from view of neighboring lots.
- A combination of solid walls and approved colored fencing (black or anodized bronze) is recommended and may be required. The height of perimeter protection may be limited if, in the opinion of the NCC, such devices would be unattractive. Galvanized fencing will not be allowed.
- Vinyl or PVC coated chain link may be allowed with NCC approval.
- Additional landscaping with native trees may be required to mitigate the court's visibility from nearby streets, lots and common areas.
- Ramadas, storage rooms, and connecting walkways must be visually integrated with the main house and surrounding landscape and located completely within the Building Envelope.
- Add landscaping to blend tennis courts with surrounding area. (see below)
- Use dark colored fence fabric to reduce into surroundings visual impact of tennis courts.

### Tennis Court Design

Utilize landscaping to blend court into surroundings

Utilize neutral colored fence material to reduce visual impact of court



## Exterior Lighting Standards for High Desert

### Background

#### Protecting Views of the Night Sky

- Views of evening sunsets, Albuquerque’s downtown, and the New Mexico night sky are among the most enjoyable features of living at High Desert. The intent of the *Guidelines* is to preserve the daytime and nighttime appearance of High Desert while allowing for the minimum lighting necessary to provide for safety, security, and the enjoyment of outdoor living, while not impairing views of dramatic nighttime panorama of city lights or the natural darkness of the desert sky.
- To accomplish this goal the *Guidelines* address common fixture types, location, quantity, and illumination characteristics of lamps. The NCC or MC will consider the acceptability of each installation, light levels and visual impact on the lots surrounding areas on a case-by-case basis.

#### Street Lights

- Streetlights are required by the City of Albuquerque to be placed at intersections and the end of streets. HDROA has no responsibility for or control over the placement of the streetlights. Care should be taken when designing views to take street light locations into consideration.
- The streetlights were designed especially for High Desert and comply with these Guidelines. They are lower in height than standard Albuquerque street lights; are a dark bronze color to blend with the background; are shielded to hide the light source and to direct the light downward; and they have a sharp cutoff lens to minimize light pollution.

#### Seasonal Lights

- Seasonal religious and holiday light displays are not covered by the *Guidelines*. However, the HDROA may adopt reasonable time, place, and manner restrictions for the purpose of minimizing disturbance to property and other residents.

#### Exterior Lighting

- Even though light spilling from interior spaces contributes to the lighting of the exterior and should be accounted for in the overall lighting design, “exterior lighting” as used in the *Guidelines* shall mean light sources that are located exterior to the residence.
- Exterior lighting may serve one of three general purposes: a) safety, b) security, and c) illumination of outdoor living spaces.

## **Safety Lighting**

- Lighting that is used to illuminate vehicular and pedestrian areas. Driveway and/or path down-lighting may be used (and will be considered Safety Lighting) to provide illumination for access from the street to a garage or entranceway, provided the lights are at grade, mounted on posts, or otherwise mounted not over 18 inches above the ground, with covers or canopies so that light is cast downward) and are consistent with landscape path lighting. Such lights also must otherwise comply with requirements for down-lights in the *Guidelines*.

## **Security Lighting**

- Lighting that provides bright illumination during emergency situations. It must be circuited and controlled separately from any and all other lights. Security Lighting may be activated with sensors (motion, heat, etc.). The security lighting circuit may incorporate timer or photocell activation, but must have a manual on/off control.

**Note:** Security Lighting is intended for activation/use only in emergency situations. Security lighting should not be used continuously as a general deterrent during evening hours or while the homeowner isn't present.

- Security Lighting must be Fully Shielded (see definition below) and angled downward so that the light source is not visible from other properties or from adjacent streets. Security lights must be contained within appropriate exterior fixtures, having a cut off equal to or less than 45 degrees and be limited to a beam angle not to exceed 45 degrees from the vertical. Security Lights may not exceed 1,200 lumens at a color temperature between 2,700 and 3,000 Kelvin (see discussion below).

## **Living Space Lighting**

- Lighting built into or attached to buildings on walls, ceilings, eaves, fascia or other locations for the purpose of providing general illumination, area illumination, or decorative accent illumination.

## **Lighting and Illumination Characteristics**

- Light sources other than traditional incandescent (Edison-type) bulbs are acceptable if the illumination level and characteristics are equivalent. Alternatives include fluorescent, compact fluorescent (CFL), cold-cathode fluorescent lamps (CCFL), micro-fluorescent, and light-emitting diode (LED) sources, among others.
- Given the variations in wattage between alternative light sources, equivalency is best established by the total amount of visible light emitted by a source (luminous flux or power defined in lumens) and color of light expressed in degrees Kelvin. While

significant variation exists, the most efficient and commonly available 40 and 75-watt incandescent bulbs emit approximately 600 and 1,200 lumens, respectively.

- The following table provides a general comparison between incandescent and compact fluorescent light sources based on information available at the time of issuance of this edition of the *Guidelines*.

| General Comparison of Common Light Sources |                               |                                 |
|--|-------------------------------|---------------------------------|
| Incandescent<br>(watt)                     | Compact Fluorescent<br>(watt) | Nominal Light Output<br>(lumen) |
| 40   | ~10                           | 600                             |
| 75   | ~20                           | 1,200                           |

- A light source is also defined by the color temperature of its output, which can vary from the warm yellowish tones of incandescent bulbs to the cooler white and blue tones found in commercial and industrial settings. Color temperature is measured in Kelvin (K). Direct sunlight corresponds to about 5,300 Kelvin while daylight, which has the blue from the sky mixed in, is typically 6,000 Kelvin or above. Light sources made to match the color of traditional incandescent bulbs vary from 2,700 to 3,000 Kelvin and all light sources proposed for use in High Desert must fall within these bounds.
- In assessment of a proposed light, the NCC and MC will consider both the light emitted by the source (lumens) and color temperature of the source (Kelvin).

### General Lighting Design Requirements

- All exterior lighting should be shielded from view to minimize the potential glare toward other lots, streets or public. Particular care must be taken when lighting homes that are visible from land at lower elevations.
- An excessive number of fixtures, or excess light levels, or glare will not be allowed.
- Exposed or visible bare light bulbs are not permitted under any circumstances.
- Pendant-type fixtures must be mounted in a manner that will not allow the fixture to sway.
- Accent lighting must be directed onto vegetation or prominent site features, such as boulders, and not upon the building.
- No lighting will be permitted in Natural Areas, except as described herein.
- Living Space Lighting must be confined to areas enclosed by walls, unless properly screened by landscaping and/or landforms (i.e. berms, rock outcrops), or be in the immediate vicinity of the main entrance to the residence, with the exception of walkways from the street to the front door. This lighting shall be no more than the minimum necessary for safe passage.

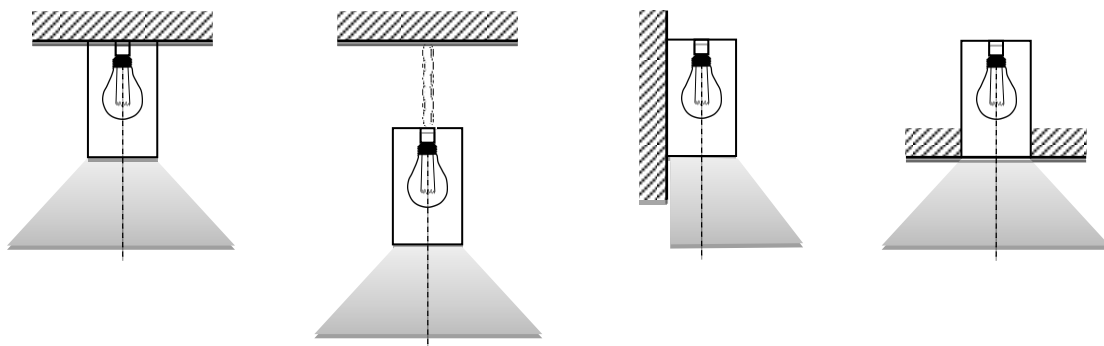
- Lighting of plant materials shall be achieved with hidden light sources. These include surface mounted fixtures; lamps recessed in building soffits, eaves, overhangs and walls; and lamps hidden by plant materials.
- Up-lighting, for example, of residence, vegetation including trees, or landscape features, is not allowed.
- Exterior fixtures shall be located and oriented to focus light downward to minimize light encroachment onto neighboring residences.
- Building mounted lighting must be directed downward away from adjacent lots, streets and open spaces and may not be used to light walls or building elements for decorative purposes.
- Exterior fixtures mounted on buildings shall be no higher than the line of the first story eave or, where no eave exists, no higher than 12 feet above finished grade, and shall be Fully Shielded, Partially Shielded or Filtered (see definitions below). This requirement also applies to lighting of decks, porch, and portico areas.

## Definitions

**Note:** The illumination values presented below refer to the *total illumination* emitted by the fixture whether it contains a single source or multiple sources.

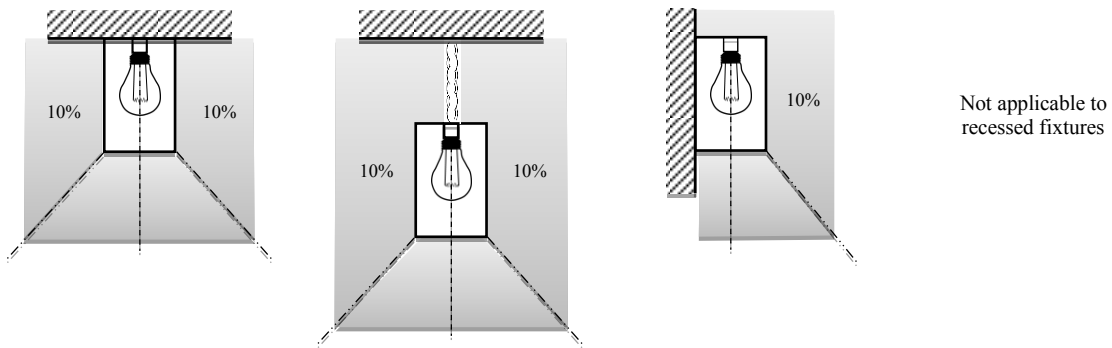
### Fully Shielded Fixtures

- Fixtures constructed with a cut off equal to a field angle no greater than 90 degrees and a beam angle not to exceed 45 degrees from the vertical axis. Total illumination from Fully Shielded fixtures may not exceed 1,200 lumens at a color temperature between 2,700 and 3,000 Kelvin.



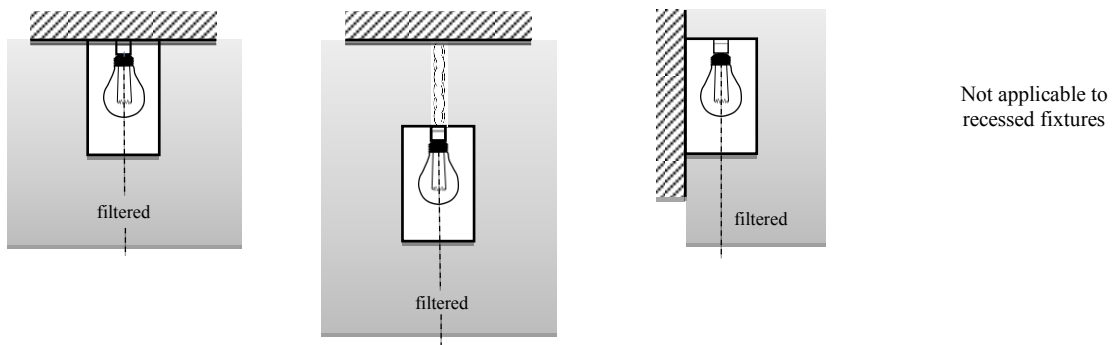
## Partially Shielded Fixtures

- Fixtures constructed so that no more than 10% of light rays are emitted directly from the light source at angles at or above a beam angle of 45 degrees from the vertical axis as certified by photometric data. Total illumination from Partially Shielded fixtures may not exceed 1,200 lumens at a color temperature between 2,700 and 3,000 Kelvin.



## Filtered Fixtures

- Fixtures constructed so that emitted light is filtered through a frosted or semi-opaque lens or filter, and/or is covered with a material or design, which allows only limited light to be emitted. Total illumination from Filtered fixtures may not exceed 600 lumens at a color temperature between 2,700 and 3,000 Kelvin.



## Prohibited Lighting

The following lighting types are prohibited in High Desert

- Metal halide, mercury vapor, or similar high intensity discharge (HID) lamps
- Quartz lamps
- Luminous tube lights filled with neon or similar rarified gases with the exception of standard fluorescent tubes

- Laser or similar highly collimated light sources
- Searchlights, gyalights, or other fixtures with moving light sources or projected beams

### **Approval Process**

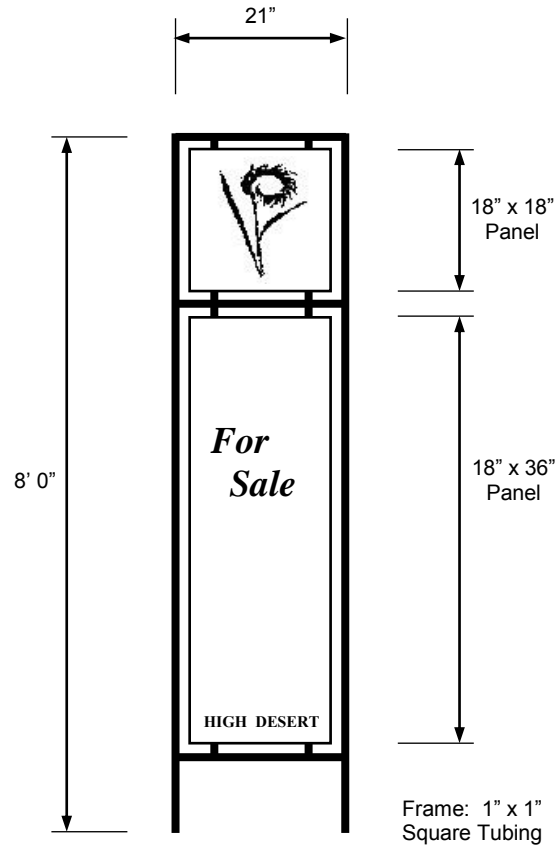
- As part of the plan review process for new construction and modification, an electrical plan must be submitted which depicts the location and type of all exterior light fixtures.
- All exterior light fixtures must be specified as Security Lighting, Safety Lighting or Living Space Lighting.
- Circuits and controls for all exterior lighting must be shown including any sensors, timers, or actuators for security or safety lighting.
- Manufacturer data sheets must be provided for all exterior lighting fixtures.
- The NCC reserves the right to reject a lighting plan if the illumination appears excessive, inappropriate, or not in conformance with the *Guidelines* and the lighting philosophy of High Desert.

### **Signage**

**Design Objectives:** To make signs at High Desert as unobtrusive and integral to the environment as possible.

- For sale and resale signs must be of the High Desert approved design.
- There can be only one approved sign on a lot at one time unless approved by the NCC.
- Contractors, or others (financing, sub-contractors, etc.) are subject to these Guidelines and must use the High Desert approved design.





## Address Identification

- Address identification must be installed by owner. Address numbers must be integrated into building walls, freestanding walls, or mailboxes. Numerals may not exceed 6 inches in height and must be of materials and colors that harmonize with the building design. Address identification must be positioned so it is easily visible from the street.

## Mailboxes

- Mailbox design and materials must match or complement the residence and approval by either the NCC or MC is required prior to construction or modification.
- Mailbox design, materials, construction, and location must be in compliance with the United States Postal Service *Standard for Residential Mailboxes*. The floor of the receptacle, or the bottom/hinge of the door for bin-type receptacles, should be located 41" to 45" above the road surface. The mailbox door should be set back 6" to 8" from the front face of the curb or edge of the roadway surface when no curb is present. The mailbox structure must not extend beyond the mailbox door when closed.
- The local postmaster must approve a curbside mailbox constructed by an owner who, for aesthetic or other reasons, does not want to use an USPS approved manufactured

receptacle. The custom-built box must generally meet the same standards as approved manufactured boxes for flag, size, strength, and quality of construction as defined in USPS STD-7B, *Mailboxes, City and Rural Curbside*.

- The mailbox structure must not exceed 56" in overall height from the adjacent road surface.
- The mailbox structure must bear the house number visible from the mail carrier's direction of approach. Numerals must be a minimum of 2" and may not exceed 6" in height. Any illumination of the house number must meet the lighting requirements presented in the *Guidelines*.

**Note:** Per 39 CFR 111, a residential mailbox that does not incorporate a "carrier signal flag" is termed a "limited service mailbox" and "unless the carriers have mail to deliver they will not stop at limited service mailboxes."

## **Other Site Design Features**

### **Basketball Goals and Backboards**

- Basketball goals may be installed on any Residence, but the installation must be approved by the NCC. Particular attention should be given to the privacy of adjacent lots, as well as color and obtrusiveness of its location.
- The NCC may require that certain types of basketball goals be used and that they be screened by landscaping or other appropriate material.

### **Antennas and Flagpoles**

- Special care should be taken to locate antennae or satellite dishes of any sort, in areas on the roof that minimize the visibility from neighboring lots, common areas, streets, or public areas.
- Permanent and temporary flagpoles must be approved by the NCC. Flagpoles may not be higher than the highest point on the house adjacent to the flagpole location (excluding chimneys) and must be located within the Building Envelope in close proximity to the structure.
- Decorative flags, balloons, beacons or banners are not permitted on any lot except as approved by the NCC, MC, or Board of Directors for special events.

### **Service Yard**

- All garbage and trash containers, clotheslines, mechanical equipment, and other outdoor maintenance and service facilities must be screened by walls from other lots, common areas, streets, or public spaces.

## **Storage Tanks**

- All water tanks or similar storage facilities, including sanitary sewer facilities and lift stations, shall either be shielded from view by walls or structures or shall be located underground with all visible projections screened from view.

## **Radon Gas Protection**

- Radon gas has been detected in the foothills and North East Heights. Each lot should be tested by a professional for the presence of radon gas. If a determination is made that a radon gas ventilation system is needed, the design professional should be made aware of this and include it in the design of the residence.

## **Utility Meters/Mechanical and Electrical Equipment**

- All utility meters and exterior equipment must be painted to match the building color and/or be screened with a wall or landscaping material unless doing so would be in violation of building, fire, or safety codes or the manufacturer's requirements.
- All roof or ground mounted exterior mechanical equipment, except for chimneys and structural elements of the building, must be fully screened from view or painted the same color as the house, if approved by the NCC. To determine if screening is required for roof mounted equipment, view the equipment (1) from any point along the property line at a height of 63.5" and (2) from the street centerlines of streets directly adjacent to the property lines at a height of 42". Parapets may be used to screen roof mounted equipment.
- All exterior ground mounted mechanical equipment must be contained within the Private Area of the Building Envelope.
- The location of all exterior mechanical equipment and screening must be approved by the NCC prior to installation.
- Every effort should be made to show on all plans the location and screening, when submitted to the NCC. Submittal of perspective views from the property corner-points, and other points as appropriate, at the heights noted above are required to verify adequate screening.
- Any changes in location or screening of mechanical equipment after the original approval by the NCC must be approved by the NCC.
- Satellite dishes should be installed in the best possible location to maximize shielding the dish from view as viewed (1) from any point along the property line at a height of 63.5" and (2) from the street centerlines of streets directly adjacent to the property lines at a height of 42".
- No mechanical equipment or skylights may be located on pitched roofs.

## Solar Specific Guidelines

- Every attempt should be made to minimize the visual impact of solar equipment.
- For pitched roofs, the equipment should be mounted in the same plane as the roof and as close as possible to the roof.
- For flat roofs, the bottom of the equipment will be mounted as close as possible to the roof (a distance of 6 inches or less from the bottom of the equipment to the roof is desired) and at the minimum angle possible for reasonable energy production and access to the sun.
- No solar energy devices shall encroach upon the Common Area of the property or the property of another owner or be located outside of the Building Envelope of the owner's lot.
- The design and color of framing or trim on any solar energy device shall be of a non-reflective surface to minimize the visual impact.
- All paintable surfaces such as pipes, tubes, cables, conduits and wires, shall be screened or painted to match the colors of the underlying surfaces at the time of installation, unless doing so would be in violation of building, fire, or safety codes or the manufacturer's requirements.
- Additional shielding or painting may be required to minimize reflections from any solar energy device.
- The total installed height of the solar equipment shall conform to the building height restrictions in the applicable Guidelines.

**Note:** Additional discussion and applicable requirements can be found in the Utility Meters/Mechanical and Electrical Equipment section.

## Solar Plan Submissions

- Plans shall be submitted that are to scale, although dimension labeling is not required. Required views are a plan view, and views from corners and mid-points, including expected worst-case views for (1) along the property line at a height of 63.5" and (2) from adjacent street centerlines from the extension of any property line in a perpendicular direction to the adjacent street at a height of 42".
- The plans shall depict:
  - Pitch angles relative to the flat roof or ground.
  - Distance from the lowest natural grade to the top of the solar equipment shall be specified.

- Any shielding proposed to meet the shielding requirements shall be shown on the proposed plans.
- A visual rendering of any associated equipment (controls, conduits, piping, etc.) installed on the sides of the home shall be provided.
- Specification sheets and dimensions for the solar equipment mounted exterior to the home shall be submitted along with the installation company.
- If the above conditions cannot be met for the proposed mechanical/electrical equipment or solar installation, the homeowner should be prepared to discuss the following with the NCC before approval can be granted. In addition, if it becomes apparent a variance to the Guidelines is necessary; the proposal will be forwarded from the MC to the NCC for resolution.
  - Possible reduction in physical size
  - Performance reduction due to lower mounting angles or location change
  - Additional shielding
  - Different equipment that could meet the same energy generation request
  - Why the locations required by the Guidelines for installation are unsuitable for providing solar energy

# **LANDSCAPE CONCEPT FOR HIGH DESERT**

## **Landscape and Water Conservation**

The goals of the landscape design for High Desert are ensuring an aesthetically pleasing landscape which maintains the existing character of the site while minimizing water use for irrigation; increasing the habitat available to wildlife; and producing less allergens than an unplanned landscape with similar quantity of plant material. The New Construction Committee (NCC) reviews and approves landscape plans for all new home construction and the Modifications Committee (MC) reviews and approves all modification plans to an existing landscape.

To achieve these goals, vegetation used at High Desert must be predominantly native plant materials. To maintain the existing character of the site, native plants will be drawn from plant communities that are found on the property or in the Sandia Mountains adjacent to the property. Plant communities are groups of plants that thrive within similar sun, soils and water conditions. Dominant plant communities will be expanded with particular emphasis on those containing large shrubs and trees. Some plant materials found on the site, while native to New Mexico and the Albuquerque vicinity but not indigenous to High Desert, will be considered inappropriate for certain areas within the community. Some plant materials not native to New Mexico and the Albuquerque vicinity or to the American Southwest will be permitted to allow residents more variety in their landscape selections.

High Desert Residential Association requires the preservation of the natural character of the High Desert environment and encourages a native landscape, which is prone to wildfire from natural and manmade causes. Wildland fires are fueled by a build-up of dead and dry vegetation and driven by seasonal hot and dry winds.

Protecting homes and life is also an important consideration in landscape design. The landscape concept contains some allowable, common-sense design safeguards that home owners may use to reduce vulnerability to fire.

This planting concept at High Desert will blend new construction gracefully into the existing landscape.

## **Landscape Design Goals for High Desert**

- An aesthetically pleasing landscape design that maintains the character of the existing site, while also allowing for some wildfire defensive measures.
- Minimize water use for irrigation.

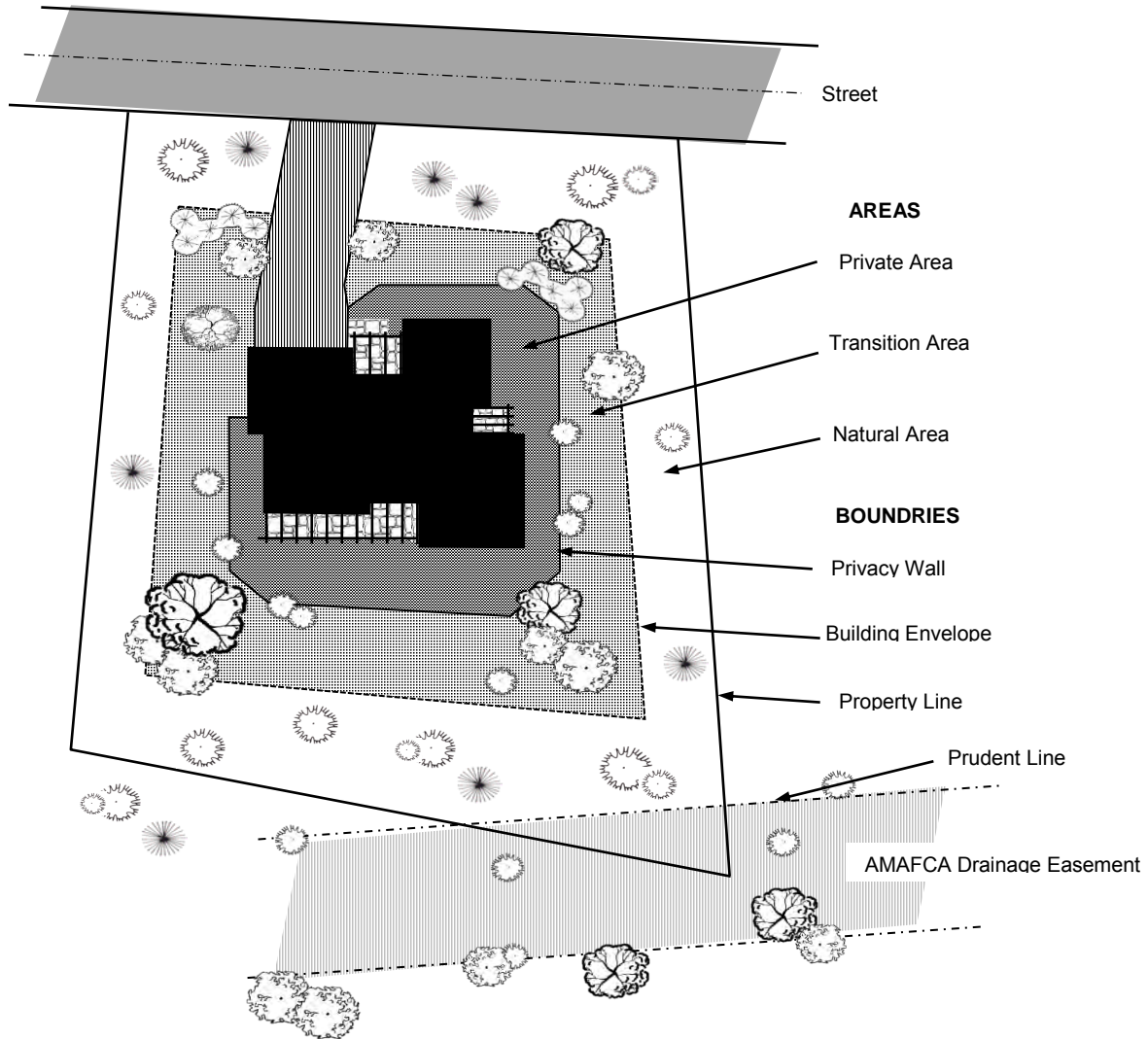
## **Water Conservation**

Water is the most precious natural resource in New Mexico and the American Southwest. The economic and environmental health of the state and region is dependent upon the responsible use

of our water resources. It is the goal of High Desert to provide a model of community development that utilizes the most progressive techniques in water conservation practices. Careful planning and thoughtful design can demonstrate that water conservation is possible without sacrificing lifestyle choices.

## Lot Landscape Areas

Each Lot has a number of landscape areas that must be treated differently. (Natural, Transition, and Private Areas)



## Definitions:

### Natural Areas

Areas of natural vegetation outside of the house and Private Areas which in all cases must be maintained in their natural state, except where defensive fire measures are approved, or enhanced by species selected.

- The Natural Areas on a lot should remain free from any improvements, except as approved by the NCC or MC, and any damage resulting from construction or fire must be remediated. As long as the vegetation and land surface are not permanently damaged, it is permissible to thin ladder fuel in Natural Areas to reduce fire vulnerability. Fuel that can carry a fire burning in low-growing vegetation to taller vegetation is called ladder fuel.
- Landscaping in the Natural Areas to repair vegetation which has been destroyed is required.
- The enhancement of Natural Areas with native vegetation, from the Approved and Prohibited Plants list, is encouraged. A landscape plan will need to be approved by the NCC prior to any landscape construction for new homes or the MC for later improvements.
- Gravel, rock, crushed or decomposed granite, or other similar materials may be allowed outside of Private Areas for driveways and erosion and drainage control. These materials also may be used to create a fire break along the outside of a privacy wall up to 5 feet from the wall. This may be done within the Building Envelope as well as in the Natural Area, if the wall borders the Building Envelope.
- Repair and maintenance of Natural Areas on the lot is the responsibility of the lot owner. Remove leaf and needle debris from the yard, as well as dead plant material yearly; preferably from November through February prior to peak fire season in the southwest
- Repair and maintenance of Natural Areas and arroyos in Common Areas is the responsibility of the Association and its property management company.
- Outside of Community Walls a fire break of 3 to 5 feet may be created when practical by removing plants and trimming native grass to 8 inches. Only low growing plants should be allowed in the fire break area. Tree branches should be trimmed to a height of at least 16 inches from the ground and branches should not be allowed within 5 feet of a wall. Trees that are highly combustible should be cut back or removed, where appropriate.
- To reduce fire vulnerability owners may trim native grass to a height of 8 inches around trees, large cactus, and shrubs *outside of the Building Envelope*. Trimming should be in a circular pattern with a diameter of twice the diameter of the plant. Cut the branches of trees to a height of 16 inches from the ground to remove ladder fuels, creating a separation between low-level vegetation and tree branches to keep fire from climbing into a tree canopy.



- If native trees are planted in the natural area with the approval of the NCC or the MC, the minimum distance between the tops of a mature canopy of trees must be 10 feet.
- Residential lots shall be maintained in a neat and attractive condition to meet the community wide standard and reduce vulnerability to fire. Minimum requirements include replacing dead or dying plants, controlling weeds, and general clean-up of potential fuel. Removal of volunteer plants within 3 feet of the road and walls is permitted.
- Under no circumstances will grading be allowed in the arroyos and drainage easements unless an encroachment license is obtained from AMAFCA and approved by the NCC. (See Site Planning - Grading Drainage Sections)
- Revegetation instructions are available at the High Desert Residential Association Office.

### **Transition Areas**

During construction this is the area between the house and Private Area and the construction fence. This area must be restored to a natural condition upon completion of construction in accordance with the landscape concept for the High Desert community. Please refer to Transition Area in the Site Planning Section.

### **Private Areas**

- Enclosed spaces within the Building Envelope. Private Areas can include courtyards, atriums, or the area behind a wall where non-indigenous plants would be appropriate despite their increased watering needs. Private Areas have few restrictions in the plants, shrubs, and trees that can be planted therein. Whereas native plants are encouraged, owners may design their Private Areas to generally suit their preference.
- All plants that are highly visible from a street or public area or from an adjacent lot, must be from the Approved and Prohibited Plants List or the appropriate Supplemental Guidelines.
- Views from the street and adjacent properties of non-native materials must be minimized.
- Non-native trees may not, at mature height, grow above the roofline of the residence. If planting non-native trees, select species from the Approved and Prohibited Plants List or the appropriate Supplemental Guidelines that at maturity will not grow higher than the residence.
- Trees should not be planted close to the house. Generally, no closer than 10 feet. Consider the diameter of mature trees when planting trees near the house and maintain a minimum distance of 10 feet between the tops of a canopy of trees. Trim back over-hanging or touching branches from the roof to a distance of at least 10 feet.

- Clean roofs and gutters of dead leaves, debris, and pine needles that could catch embers in the event of a wildfire.
- Create vegetation groups, “islands”, to break up continuous fuels around the home.
- Consideration should be given to using non-woody, low-growing herbaceous vegetation or fire-resistant vegetation in the landscape plan. Succulent plants and ground covers are good choices.
- Native grass outside a privacy wall but *within the Building Envelope* may be trimmed to a height of 4 inches
- *Within the Building Envelope*, if the grass is allowed to reach full height at maturity, the owner may trim the grass around trees and large cactus and shrubs to a height of 4 inches. Trimming should be in a circular pattern with a diameter of twice the diameter of the plant. Cut the branches of trees to a height of 8-10 inches from the ground to remove ladder fuels, creating a separation between low-level vegetation and tree branches to keep fire from climbing trees.
- While some low-growing native vegetation is preferred, hard surfaces, such as concrete or noncombustible rock mulch may be used around to house to a distance of 3 to 5 feet.
- Nonnative turf or lawns must be contained only in Private Areas and views from the street and adjacent property must be minimized.
- Store fire wood as far away from the house as possible within the privacy area.

## **Plant Communities and Arroyos of High Desert**

The landscape concept for High Desert involves extending the juniper/piñon/oak plant communities found in the Sandia Mountains into the residential development and common areas on the lower portions of the property. Because these trees are highly flammable, do not plant them close to the house.

- The major arroyos on the site, as determined by easements, are preserved and will be maintained in their natural state by the Association and within the lot boundaries by the home owner. Arroyo maintenance is defined by the Albuquerque Metropolitan Arroyo Flood Control Authority (AMAFCA).
- Layout of the individual residential lots has been designed to protect natural drainage systems. These drainage systems have easements granted to AMAFCA and the Association, and should remain in a natural state, with no vegetation or land form damage without an AMAFCA encroachment license and approval of the NCC or MC.

## **Non-Native Species**

Non-native plant materials must be limited in use to the Private Areas of a lot. Views from the street and adjacent properties of non-native materials must be minimized.

- Non-native plant materials may not extend, at mature height, beyond the roofline.
- Wood chips, bark or similar mulches or groundcovers and non-native plant materials are not allowed outside of Private areas.
- Plants from the Prohibited List may not be planted anywhere on a lot.

## **Landscaping Guidelines**

Care should be taken to protect all native existing plants at High Desert and to maintain the natural character of the landscape outside Private Areas.

- All improvements should be sited to avoid existing trees, if at all possible. It is recommended that reasonable efforts be made to transplant all significant and transplantable materials.
- All areas disturbed (due to construction, fire, or other causes) outside the Private Areas must be re-vegetated using the High Desert Reclamation Seed Mix and appropriate soil preparation. The High Desert Reclamation Seed Mix is defined within the separate document -- Approved and Prohibited Plant List. The re-vegetation must occur during the first growing season after or during completion of the home. The Construction Deposit will not be refunded until this has been accomplished.
- The use of berms as landscape features is encouraged if continuous expanses of landform can be created to look natural as opposed to contrived or manmade. Small irregular hummock type landforms are not allowed. Architectural or structured berms (i.e., retaining walls, earth buildings, sculptural landform, etc.) may be allowed if they are an integral part of the architecture and landscape, with NCC or MC approval.
- Spray irrigated Private Areas shall be no more than 20% of the lot, exclusive of the house, in accordance with City of Albuquerque ordinance. This is exclusive of spray irrigation for native vegetation, which may be irrigated for germination up to one-year. Spray irrigation outside the Private Areas may not be used to create a "green turf-like" appearance. (According to the ABCWUA Conservation Officer no ordinance limits spray irrigation to 20%.) However, they consider "any" turf that is spray irrigated to be "high water use." So, the 20% limitation on high water use turf and plants covers this.
- To reduce the extreme fire danger posed by a layer of dry conifer needles, owners must remove fallen needles, as well as pine cones, from under and around these trees yearly, preferably from November through February prior to peak fire season in the southwest.

- Non-native turf (including blue grass, rye and other mixes) and high water use plants is limited to an area no greater than 20% of the lot, exclusive of the house (City Ordinance) and must be located only in Private Areas.
- The use of buffalo grass or other approved native turf is encouraged when appropriate.
- All landscaping materials installed in High Desert in natural areas, transition areas and setbacks must comply with the following minimum size standards depending on availability.
  - Deciduous Trees: 2” caliper
  - Shrubs: 1-5 gallon
  - Groundcovers: 4”pot to 1 gallon
- All plants that are highly visible from a street or public area or from an adjacent lot, must be from the approved plant list contained in this section.
- Views from the street and adjacent properties of non-native materials must be minimized.
- Non-native trees may not, at mature height, grow above the roofline of the residence. If planting non-native trees, select species that at maturity will not grow higher than the residence.
- Non-native turf or lawns must be contained only in Private Areas. Views from the street and adjacent property must be minimized.

## **Approved and Prohibited Plant List**

### **Philosophy**

Landscaping in High Desert is designed to retain the natural look of the foothills, to be drought tolerant, and to help maintain the native wildlife of the area. This is accomplished through the use of native plants as a backbone with the use of desert adapted plants as fill. The landscaping objective is to maintain the regional look of a southwestern high desert. Native wildlife is to be encouraged through the use of the native plants and grass to which they are accustomed.

Desert adapted plants can be recognized by their water conserving features: small narrow leaves or needles, gray/green color, waxy protective leaf coatings, fuzzy hair leaf coatings, lack of leaves just green narrow stems, or spines for leaves. The use of acid soil loving plants with large leaves is discouraged since these plants neither represent the southwestern desert aesthetic nor are they desert adapted.

The actual Approved and Prohibited Plant list is a separate document. The list can be obtained from the High Desert Resident Owners Association web site.

[http://www.highdesertliving.net/highdesertliving/page.html?page\\_id=34](http://www.highdesertliving.net/highdesertliving/page.html?page_id=34)

## **Program for Water Conservation**

### **Water Conservation Goals**

High Desert seeks to become a model for efficient water use in this arid New Mexican environment. The guidelines for landscaping, building design and construction are conceived to minimize consumption. High Desert will continuously promote consciousness about conservation and use, to assure that the water needs of the community and the region are realized. Owners will comply with the Albuquerque Bernalillo County Water Authority watering restrictions and conservation guidelines.

### **Landscape Irrigation**

- Irrigation system design with head to head coverage will be required in all non-native lawn areas
- With the exception of sprinkler heads and control equipment (anti-siphon valves, control valves, etc.) all irrigation piping must be placed below grade.
- Spray irrigation systems for native grass areas outside Private Areas may only be used for germination and very limited periodic use during drought periods.
- Over watering and use of spray irrigation outside Private Areas on native grasses may not be used to create a "green turf like" appearance.
- Where irrigation of trees, plants and shrubs is necessary, drip irrigation systems are required.
- Temporary irrigation systems for non-turf areas are encouraged.
- High water use turf and plants is limited, by City Ordinance, to 20% of the lot, exclusive of permanent structures and areas such as concrete paths and driveways.
- The use of buffalo grass or other approved native grass turf is encouraged in all turf situations.

### **Pools and Water Features**

- Decorative pools shall be limited to three hundred (300) square feet in surface area. Sheet and cascade water features are preferred, and vertical jets with a vertical height greater than six feet are discouraged.
- Swimming pools are limited in size to nine hundred (900) square feet of surface area.
- Water fountains, or water features, to be located outside the Private Space cannot exceed six feet in height from the finished grade unless approved by the NCC.

## **Water Harvesting**

Water harvesting at High Desert refers to a number of techniques and collection systems, mostly passive, which collect and convey a portion of the storm waters generated from the developed portions of the lot to natural or landscaped areas within the lot. The use of water harvesting techniques provides a method of delivering moisture, which might otherwise be lost, to enhance the growth of the native vegetation and landscaping; while at the same time conserving the precious water that comes from our aquifer. Water harvesting techniques can be incorporated into the storm water, or drainage management plan for the lot. Any owner wishing to irrigate areas greater than those allowed by the Guidelines or to construct a swimming pool larger than permitted by the Guidelines, must demonstrate that water harvesting techniques have been incorporated into the design of the home and that such techniques are being successfully utilized.

- The use of hidden roof top storage, cisterns, and other techniques for capturing and utilizing rainfall and natural drainage is strongly encouraged and may become a useful and attractive part of the drainage plan for the lot.
- If water harvesting facilities are planned to be located in a AMAFCA easement, an Encroachment License must be obtained from AMAFCA (at owners expense), along with approval from the NCC or MC.
- Above ground swales and ponds, if designed properly can act as attractive water harvesting features.
- Water harvesting facilities may be located in the Natural Area, with the approval of the NCC or MC.
- Water harvesting facilities must be shown on the Grading and Drainage Plan and must be approved by the NCC or MC.

# ARCHITECTURE

The objective for the architecture at High Desert is to establish the highest standard of quality for the design of buildings. The architectural character of High Desert should reflect the casual elegance of southwestern living. Southwestern character is derived from a wide variety of historic, geographic, cultural, climatic and thematic influences including Native American, Mexican, and the American West. Architectural character results from a composite of form, materials, colors, and detailing.

At High Desert, no residence should stand so apart in its design or construction as to detract from the visual harmony of the community. Builders are required to design homes, whether traditional or contemporary, to capture the qualities of Southwestern architecture.

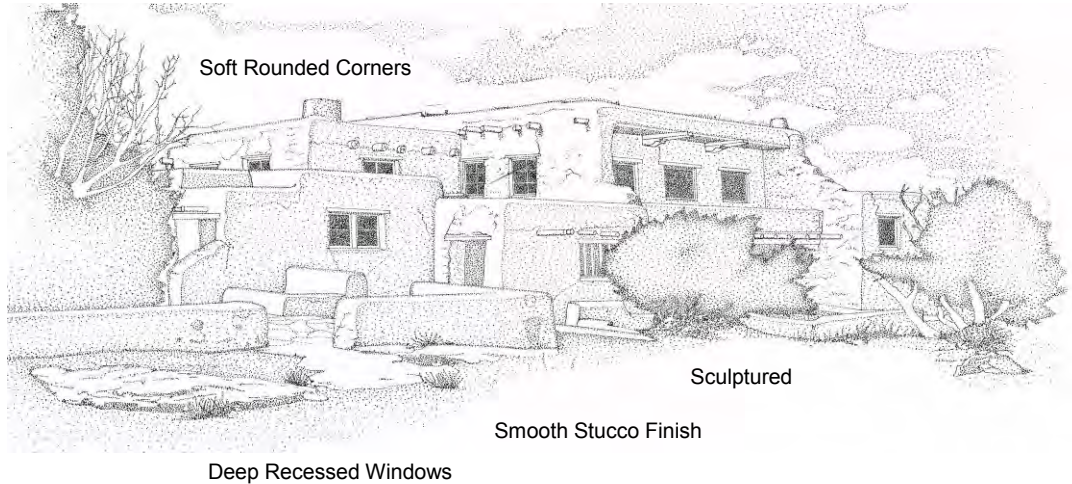
## Architectural Style

The following is a description of the most culturally relevant architectural styles with guidelines for applying them at High Desert.

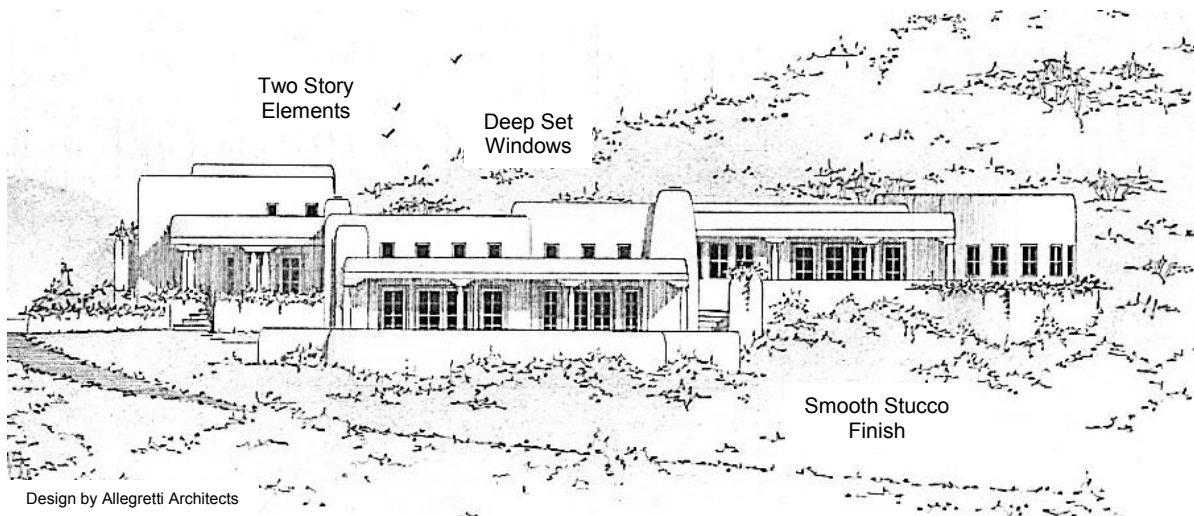
### Pueblo Revival Style

Pueblo Revival architecture includes elements of Pueblo, Spanish Colonial and Mission Revival architecture styles. Sometimes referred to as “New Santa Fe Style”, Pueblo Revival architecture has become synonymous with the work of John Gaw Meem who **melded these styles and brought them into the 20<sup>th</sup> Century**. Characteristics of the style include earth-toned stucco walls with an adobe-like appearance, human-scale step-block irregular massing, rounded corners at intersections, deep recessed portals, flat roofs drained by cut or through parapet canals, rows of vigas, recessed casement windows with bull-nosed edges, roughly hewn lintels, and stepped-back rooflines that imitate Pueblo architecture. Contemporary expression of the style may include high interior ceilings and dramatic expanses of glass to capture available scenic views. The design vocabulary is the same but the materials have changed. Pueblo Revival architecture is not an imitation of the past but a reflection, or “conscious recollection” in Meem’s words, of the past utilizing evocative forms and elements.

## Pueblo Revival Style



## Contemporary Pueblo Revival Style



## Territorial Style

Territorial architecture can generally be described as a mix between Pueblo and Victorian building styles. As the name suggests, it was developed in New Mexico's territorial pre-statehood days, when this vast region was populated by European and American settlers who brought with them Victorian building traditions, but often found pueblo building techniques to be



more practical. Territorial homes typically feature flat walled and roof construction, but with adaptations like large wood-cased windows, in contrast to portals, which were traditionally used to block as much heat as possible. Sidelights, a stack of small vertical windows, commonly flank entry doors, and bricks trim doors and windows. Brick coping is used atop the exterior walls to protect them from water damage. Pedimented lintels, or lintels with a triangular crown, recall the Greek Revival style, as do milled posts and beams that replace the logs used as vigas and posts in Pueblo and Pueblo Revival designs. Smooth stucco is often used in place of thick plaster on exterior walls.

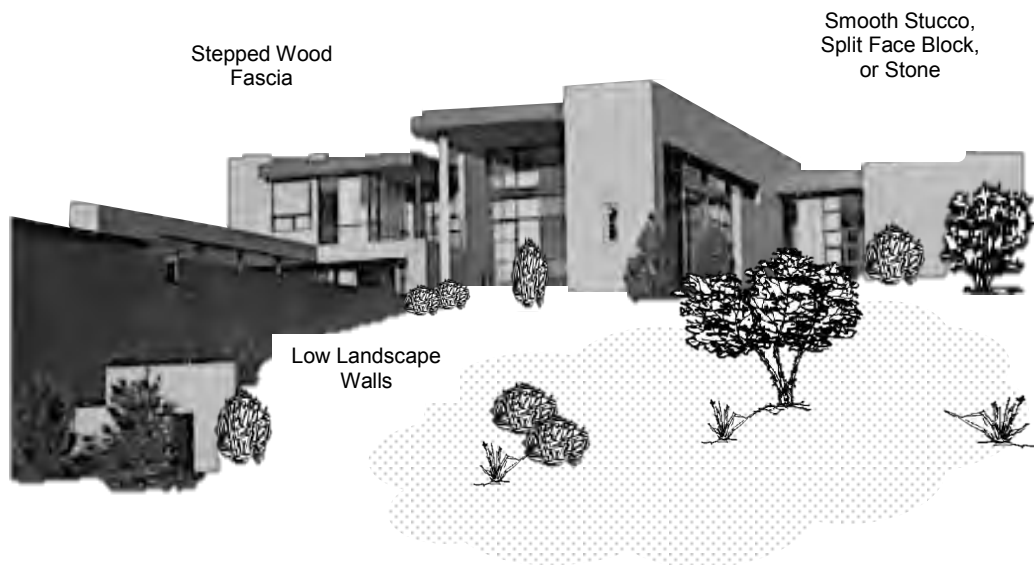
### Territorial Style



### Regional Modern Style

Although contemporary architecture is a somewhat ambiguous label, at High Desert it refers to buildings created today, whose interpretive art form may or may not be historically or stylistically based. Regional Modern covers a broad range of styles reflecting regional influences and designs that embrace the modernist's exploration of technology resulting in buildings of lighter weight and often unusual or non-classical geometries. To make them more compatible with the High Desert environment, contemporary style should incorporate setbacks and overhangs, interesting use of windows and window setbacks, be carefully integrated with their sites and incorporate strong horizontal lines. With care, contemporary designs can be climatically derived, humanistically sensitive, and indigenously structured while exploring non-classical and non-stylistic forms, geometries and spaces, and result in highly compatible, environmentally appropriate architecture that breaks down the barriers between inside and out.

## Regional Modern Style



### Building Heights

The topography and natural features of High Desert are dramatically varied with ridges, arroyos and other elevation changes contributing immeasurably to the quality of the environment. Low profile buildings will minimize intrusion and impact and preserve views and the visual beauty of High Desert. Therefore, buildings should be as low as possible in order to integrate with their surroundings. One of the principal ways of achieving a low profile is to site the structure partially below natural grade. This is especially effective when done at the high point of the natural topography.

Because the views, topography and other issues that affect the quality of life within the community vary from area to area, High Desert has different maximum building height requirements to respond to the needs of those specific geographic areas. The three areas are as follows: 1) Trailhead at High Desert; 2) all areas of the Estate and Premier home construction outside of the Highlands Design Overlay Zone; and 3) Highlands Design Overlay Zone.

#### Trailhead at High Desert

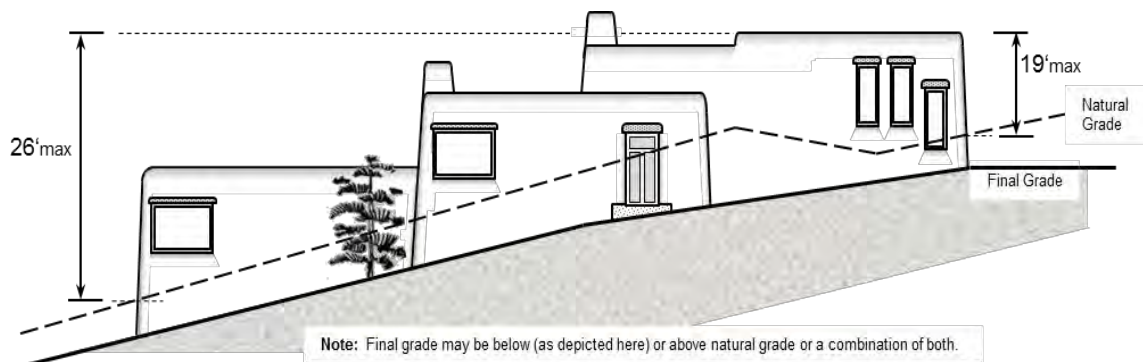
The Trailhead at High Desert is located south of the Embudito Arroyo, adjacent to the Glenwood Hills North neighborhood area.

- To achieve a lower profile, residences are encouraged to be sited partially below grade.
- Maximum allowed height for a building in the Trailhead subdivision is 19' 0" along the average natural grade along each building mass, excluding chimneys. This measurement technique was established by the City of Albuquerque Zoning Division.

## Estate and Premier Areas (outside of the Highland Design Overlay Zone)

These lots are determined by the zoning designation and are located outside of the Highlands Design Overlay Zone.

- To achieve a lower profile, residences are encouraged to be sited partially below grade.
- The maximum allowed height for the furthest upslope wall, as depicted in the drawing below, is 19'-0". This height is measured from the highest natural grade adjacent to the structure, to the highest point on that wall, excluding chimneys.
- The maximum allowed overall building height, as depicted in the drawing below, is 26'-0". This height is measured from the lowest natural grade point adjacent to the entire structure to the highest point on the entire structure, excluding chimneys. Pitched roofs are measured to the ridge.
- The maximum allowable overall building height of 26'-0", as measured from the lowest natural grade point adjacent to the entire structure, can be applied to all building masses provided the furthest upslope wall does not exceed 19'-0" in height.
- Natural (pre-construction) grades must be drawn on all building plan elevations, in order to determine heights from natural grade.
- Natural grade elevations, at the low point and high point, adjacent to the proposed structure must be indicated and identified on all construction plans.
- The elevation of the highest point on a proposed structure, excluding chimneys, must be indicated and identified as the highest point on all construction plans.
- All parapet heights must be noted on building plan elevations.

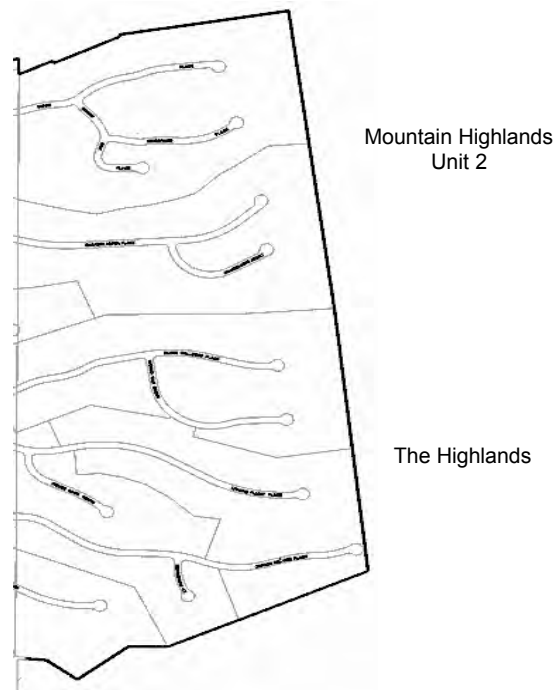


## Highlands Design Overlay Zone

One of the main goals of the High Desert Community is to achieve a sensitive transition from the open U.S. Forest Service areas to urban uses. Nowhere is this transition more important than in the eastern Highlands. Therefore special design guidelines have been created for this sensitive area. These guidelines for the Highlands Design Overlay Zone will be jointly administered by the NCC and the City. It is the responsibility of the NCC to certify, at the time of building permit submittal that the plan meets the requirements.

While the Highlands Design Overlay Zone sets criteria for allowable colors, reflectivity, accent colors, siding and rooftop mounted equipment, these requirements are the same as outlined in these Guidelines for all Estate Homes. The additional requirements for height and rooflines within the Highlands Design Overlay Zone are set forth in these Guidelines.

### Highlands Design Overlay Zone



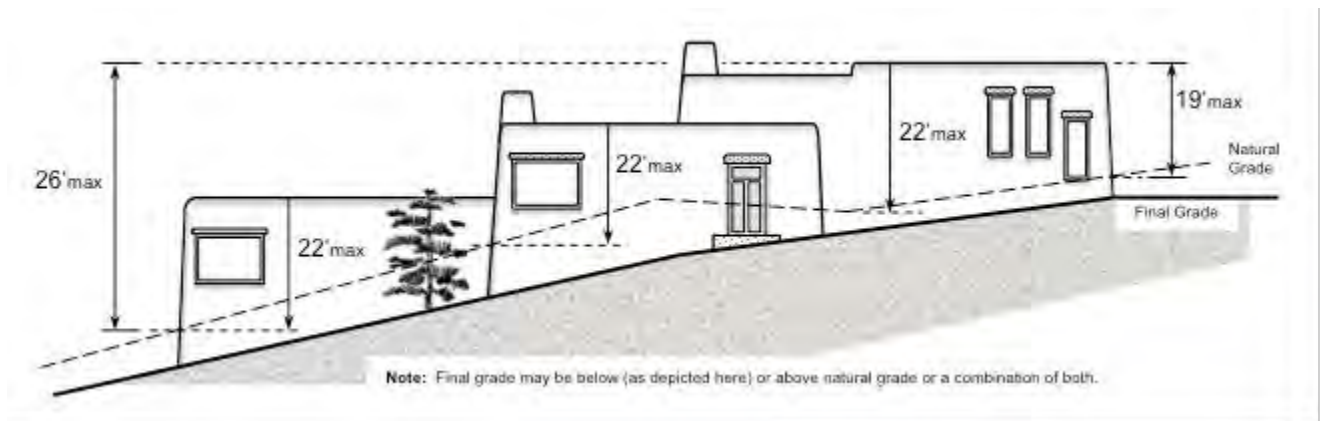
### Building Heights—Highlands Design Overlay Zone

The following are the criteria determining building heights at the High Desert Overlay Zone.

- To achieve a lower profile residence are encouraged to be sited partially below grade.
- The maximum allowed height for the furthest upslope wall, as depicted in the drawing

below, is 19'-0". This height is measured from the highest natural grade adjacent to the structure, to the highest point on that wall, excluding chimneys.

- The maximum allowed height of any individual mass is 22'-0". This is measured from lowest natural grade adjacent to the mass to the top of the wall as depicted in the drawing below.
- The maximum overall building height, as depicted in the drawing below, shall not exceed 26'-0". This height is measured from the lowest natural grade point adjacent to the entire structure to the highest point on the entire structure, excluding chimneys.
- Pitched roofs may not exceed a one-in-three pitch.
- Pitched roofs may not have peaks against the skyline. An abutting parapet or wall must be higher than the peak of the sloped roof.
- Natural (pre-construction) grades must be drawn on all building plan elevations, in order to determine heights from natural grade.
- Natural grade elevations, at the low point and high point, adjacent to the proposed structure must be indicated and identified on all construction plans.
- The elevation of the highest point on a proposed structure, excluding chimneys, must be indicated and identified as the highest point on all construction plans.
- All parapet heights must be noted on building plan elevations.

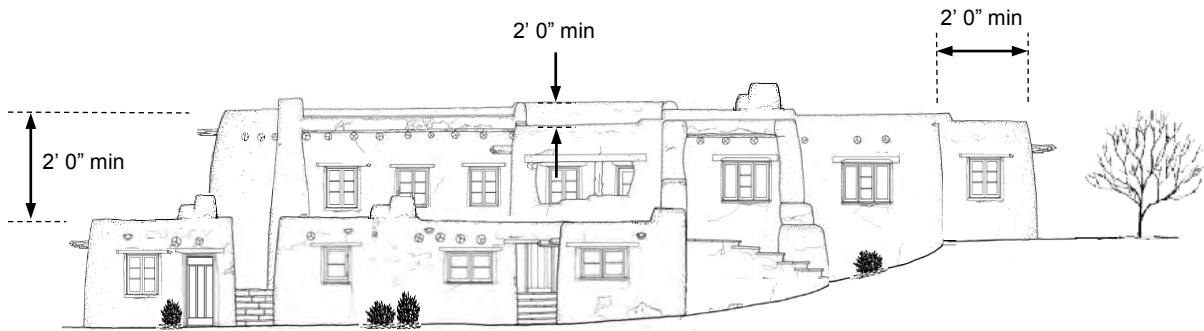


## Building Massing

Definition: Building Mass: A volume of space which visually appears as a rectilinear form, consisting of a roof and at least 3 walls. Building masses should follow natural site contours, as much as possible.

- Residences with a single floor level are acceptable provided the building height and massing and grading guidelines are met.

- Building masses should be predominantly horizontal rather than vertical, yet should not create long unbroken elements.
- Each building mass must be offset from adjacent masses by at least 2'-0" vertically and 2'-0" horizontally. Mass dimension must be labeled on all plans.
- Each building must have at least 3 distinct masses visible from 3 elevations.



Adjacent building masses must be offset vertically and horizontally from each other by at least 2' 0".

## Accessory Living Quarters

Accessory Living Quarters are permitted only in the Estate and Premier areas of High Desert. Such structures may be attached or detached but must be in the same architectural style, materials and colors as the residence, and should be visually related to it by walls, courtyards, or major landscape elements. Any accessory living quarters must comply with all zoning regulations and be approved by the NCC.

Detached garages are permitted in the Estate and Premier Areas of High Desert. However, such structures must be in the same architectural style, materials and colors as the residence, and should be visually related to it by walls, courtyards, or major landscape elements.

## Materials

Exterior surfaces must be materials that harmonize with the natural landscape as well as provide an outer skin to withstand the climate extremes. Stabilized adobe block and stucco are two such materials which meet the aesthetic criteria and are regularly used for construction in the Southwest. The use of these materials at High Desert is strongly encouraged.

Materials are crucial to creating architectural continuity throughout High Desert. Exterior elements and materials should be limited in number and be compatible with one another, while being in scale with the building. Care should be taken so that materials do not detract from the building's overall appearance or become visually complicated.

- On any single building, the materials for exterior application shall be limited in number, compatible with one another and in scale with the building.
- Siding materials shall extend down to finished grade to eliminate areas of exposed foundation.
- The detailing of any elevations exposed to public view should be consistent with the front elevation.
- These materials are appropriate for use as residential exteriors at High Desert
  - Exterior plaster or stucco using a light to medium texture
  - Wood fascia-stained or painted as accents
  - Stone
- These materials may be used with approval of the NCC or MC
  - Ornamental iron
  - Concrete, including painted or dyed
  - Ceramic tile
  - Concrete columns
  - Glass block
  - Very dark or opaque glass
  - Man-made stone
  - Brick (earth tones occurring at High Desert)
  - Split faced block (earth and landscape tones occurring at High Desert)
  - Other materials may be considered for approval by the NCC
- These materials are inappropriate and may not be used at High Desert
  - Exterior plaster using heavy textures such as swirl or heavy trowel patterns
  - Metal cladding
  - Exposed standard, or colored concrete block

## Colors

The Pre-Approved building colors were selected to create a range of colors acceptable in the High Desert community. Due to the number and variety of colors to choose from, the color list is only a sampling of the colors permitted. It is very important to provide information (manufacturer, color name and product number) to the NCC for approval.

### Highlands Design Overlay Zone Building Colors

Hue is an important characteristic of color within the Highlands Design Overlay Zone, as is the reflectivity of the color. Just as bright, saturated colors should be avoided, so should dark, deep toned colors, which give the impression of excess mass. Likewise, a narrow limit on reflectivity is specified to avoid the impression of either very light or dark colors, which contrast with their background. As with the other guidelines in the Highlands Design Overlay Zone these color limitations are intended to help assure architecture, which grows out of the landscape rather than being superimposed upon it or in contrast to it.

The predominant color of the building may be chosen from the set of twelve pre-approved colors, listed below, or others closely approximating them, within the color range. Generally, approved colors include the yellow ochres, ochres, browns, dusty reds, and grey greens of the natural landscape of the mesa and the foothills. These colors have been selected for their compatibility with the environment, as well as their harmony with one another.

All of the pre-approved colors have a “light reflective value” of 40 or less and may be used anywhere in High Desert. The specific colors listed below have been approved by the City. However, other colors and manufacturers may be submitted to the NCC for use on a specific Lot, but they must also have a light reflective value of 40 or less and must fall within the general color range listed below.

### Pre-approved colors for the Highlands Design Overlay Zone

| <b>El Rey Stucco Co.</b>        |                    |                |
|---------------------------------|--------------------|----------------|
| Buckskin 106                    | Driftwood 111      | Cottonwood 115 |
| Fawn 117                        | Santa Fe Brown 120 | La Luz 125     |
| Adobe 126                       |                    |                |
| <b>Oriental Exterior Stucco</b> |                    |                |
| Rancho Brown                    | Saddle Tan         | Desert Adobe   |
|                                 | Mesa               | Tierra Mocha   |

### Outside Design Overlay Zone

Southwest colors are warm, rich, desert hues with accents of complementary tones, reflecting the landscape of the Southwest desert.

- Colors for roof surface should be as dark or darker in color than the building’s exterior. A Solar Reflectance Index (SRI) of 50 or less is required for all roof surface materials.



- Roofing materials that do not meet the color standard above may be made compliant by coating with elastomeric coatings or paint with a Light Reflective Value (LRV) of 40 or less.
- A roof color lighter than the building's exterior is allowable if the building's exterior is a very dark color, and restrictions for the SRI or LRV requirements stated above are met.
- Color may be chosen from a set of preapproved colors, listed below, established by the NCC. These colors have been carefully chosen for their compatibility with the natural environment, as well as their harmony with one another. Other colors, from this range, may be submitted to the NCC, but are subject to NCC approval.
- Consider the use of darker colors for homes on the ridges and in more exposed locations and lighter colors for homes, which are not on the ridge.
- Colors for exterior artwork and sculpture should also be muted tones chosen to blend rather than contrast with the residence and surroundings.

### Accent Colors

Accent colors on front doors, window sashes and other architectural elements are allowed as long as, in the opinion of the NCC, the accent color does not overwhelm the building's basic color or create a visual distraction from the street, adjacent Lot, or Common Area.

### Pre-Approved Building Colors - Outside Highlands Design Overlay Zone

All of the pre-approved colors have a light reflective value (LRV) of 40 or less and may be used anywhere in High Desert. Other colors may be submitted to the NCC for use on a specific Lot, but they must also have a LRV of 40 or less and must fall within the general color range listed below.

| <b>El Rey Stucco Co.</b>        |                    |                |
|---------------------------------|--------------------|----------------|
| Buckskin 106                    | Straw 122          | Driftwood 111  |
| Suede 118                       | Santa Fe Brown 120 | Fawn 117       |
| La Luz 125                      | Adobe 126          | Cottonwood 115 |
| <b>STO Stucco</b>               |                    |                |
| Tumbleweed 1011                 | Pueblo 1005        | Cimarron 4180  |
| Pecos 1001                      | Suede 1006         | Abiquiu 1002   |
| Mesilla 2207                    | San Antonio 1465   | Sandia 1616    |
| Amarilla 3003                   | Adobe Brown 1004   |                |
| <b>Oriental Exterior Stucco</b> |                    |                |
| Rancho Brown                    | Saddle Tan         | Desert Adobe   |
| Indian Beige                    | Mesa               | Tierra Mocha   |
| <b>Sonneborn</b>                |                    |                |
| Tumbleweed 1011                 | Pueblo 1005        | Cimarron 4180  |
| Pecos 1001                      | Suede 1006         | Abiquiu 1002   |
| Mesilla 2207                    | San Antonio 1465   | Sandia 1616    |
| Amarilla 3003                   | Adobe Brown 1004   | Torreon 1001   |

## **Roofs**

### **Outside Highlands Design Overlay Zone**

Desert architecture is most commonly a “walled” architecture rather than the “roofed” architecture that is more common to regions with tall trees or heavy rain and snow fall. It is the intent of High Desert to maintain this desert tradition of walled architecture and discourage the use of pitched roofs and encourage the use of semi-flat roof styles or pitched roof designs with low slopes. Since roofscapes form an important part of the visual environment, they must be carefully designed. In keeping with our goals of visual harmony and sensitivity to the predominant Northern New Mexico styles, the NCC strongly discourages pitched roofs, in favor of flat or parapet types. If pitched roofs are proposed they must comply with the following:

- Maximum slope of four (4) inches in twelve (12) inches.
- Tile roofs must be dark colored and have a non-reflective surface.
- Special care should be taken in locating skylights on pitched roofs to avoid the impact of reflectivity.
- Roof mounted appurtenances other than solar panels (including, but not limited to skylights, air conditioning/heating units and antennas) shall be totally screened from view as part of the architectural style of the building and not visible from neighboring property or adjoining public right of ways. Every attempt should be made to minimize the visual impact of solar panels and small satellite dishes. Roof mounted solar panels and equipment shall match the roof in color and appearance. Panels shall be an integrated part of the roof and building design and mounted directly to the roof plane.
- Parapets may be used to screen roof mounted equipment.
- The location of small satellite dishes and solar panels must minimize visual impact and must be approved by the NCC.
- Parapet copings shall be integral stucco, precast concrete, stone, brick or natural copper.
- Gutters, down spouts, scuppers, overflows, canals, and other water capture/ control devices must be an integral component of the building’s design.
- Galvanized sheet metal, painted or otherwise fiberglass and plastic are considered inappropriate for copings or water control systems.

### **Highlands Design Overlay Zone**

- Maximum slope of four (4) inches in twelve (12) inches.
- No ridges or peaks against the skyline (abutting parapet or wall must be higher than sloped roof).

- Colors for roof surface should be as dark or darker in color than the building's exterior. A Solar Reflectance Index (SRI) of 50 or less is required for all roof surface materials.
  - Roofing materials that do not meet the color standard above may be made compliant by coating with elastomeric coatings or paint with a Light Reflective Value (LRV) of 40 or less.
  - A roof color lighter than the building's exterior is allowable if the building's exterior is a very dark color, and restrictions for the SRI or LRV requirements stated above are met.
- No metal roofs are allowed.
- No mechanical equipment or skylights may be located on pitched roofs.
- No asphalt or fiberglass shingles are allowed.
- These requirements are in addition to requirements for roofs outside the Highlands Design Overlay Zone.

### **Roof Forms**

- Roof forms appropriate for use at High Desert
  - Flat roofs with overhangs
  - Combining of one and two story elements
  - Parapets
  - Varying plate and wall heights
- Roof forms that may be used with approval of the NCC
  - Hip roofs
  - Gable roofs
  - Shed roofs
  - Dormers
  - Domed roofs
  - Arched roofs
- Roof forms that may not be used in High Desert
  - Mansard

- Steeply pitched
- Gambrel

## **Roof Materials**

- These roofing materials may be used with approval of the NCC
  - Built-up roofing (non-reflective) for flat roofs -- Single ply membrane (semi-flat roof only/non-reflective) for flat roofs
  - Concrete or clay roof tiles
  - Metal (outside Highlands Design Overlay zone only)
- These roofing materials may not be used at High Desert
  - Asphalt or fiberglass shingles
  - Barrel tiles
  - Extruded "S" shaped tiles
  - Wood
  - Rolled roofing material on pitched roofs

## **Chimneys**

Metal flues shall be enclosed. The NCC will approve materials based upon aesthetic qualities only. While such materials must have sufficient fire-retardant qualities, no representation or guarantees are made by the NCC as to such qualities.

- Metal flues shall not exceed the minimum height requirements of the City of Albuquerque Building Code Division.
- Metal flue enclosures must be made of materials and designed to complement the style of the residence. If painted they must match or complement the exterior colors of the residence.
- Chimneys should be designed to be in scale and proportion with the architecture of the building.
- All exposed metal flues and flashings, etc., must be painted to match the chimney color.
- These chimney materials are appropriate for use at High Desert
  - Stucco to match house

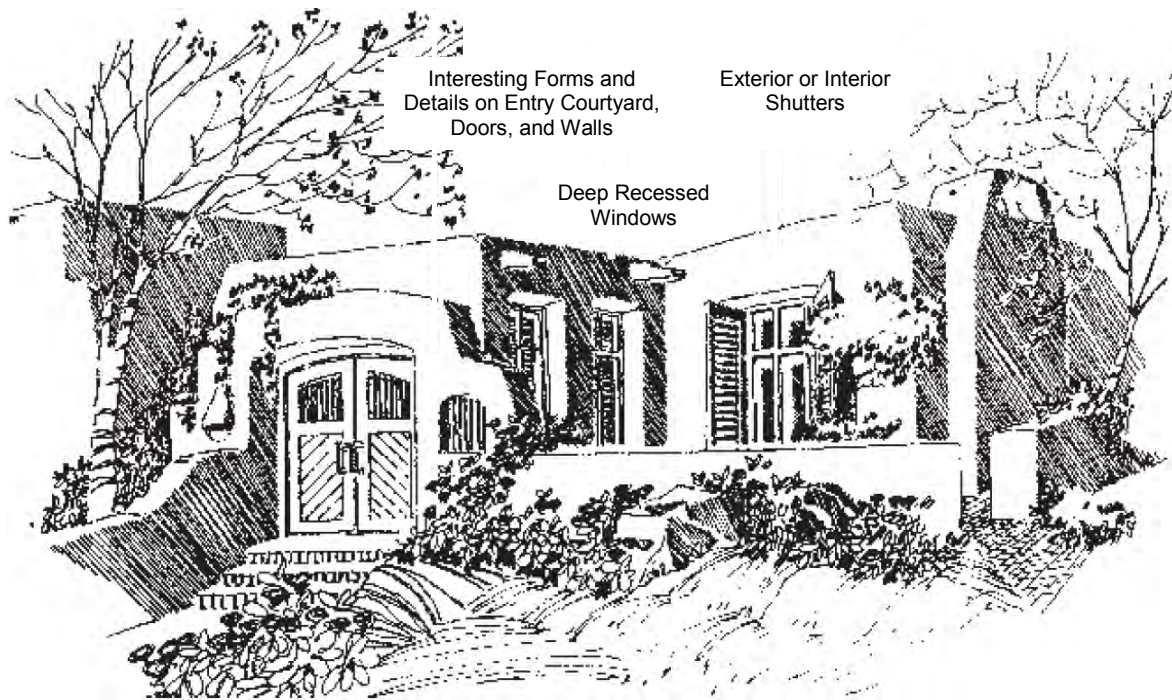
- Precast concrete
- Stuccoed trim
- Stone
- These chimney materials may be used with approval of the NCC
  - Brick
  - Metal
- These chimney materials may not be used at High Desert
  - Wood siding
  - Exposed concrete block
  - Exposed wood trim

## **Doors and Entries**

Doors and entrances should have simple, clean lines accentuating Southwest features and contemporary shapes.

- Exterior doorways and entryways should provide shade protection, depth and a strong shadow-line. They should provide a focal point at the entryway. Courtyards at or near the entry are encouraged.
- “Flat doors” with no detailing or overhang, doors or entryways with no elaboration or designation may not be used at High Desert.

## Doors and Entries



## Garage Doors

- Must be integrated into the design of the main house and materials must be integrated with the residence.
- The maximum garage door width is 18 feet.
- Any additional garage, after the first double door or two single doors, must be offset in massing by at least two feet horizontally.
- Side entry garages are preferred to those fronting the street.
- Garage doors must be setback from the face of the main wall a minimum 12".

## Windows and Trim

Windows are a prominent feature and should be considered carefully to blend with or complement the style of the home.

- Windows should be set deep into the walls to create a feeling of depth and massiveness.
- Window with colored sashes or frames are appropriate, with NCC approval.
- Unanodized and clear anodized aluminum window frames or mullions may not be used at

High Desert.

- Copper trim, if unsealed, or treated with a patina finish, may be approved.

## **Columns and Arches**

Columns and arches should enhance the architectural theme by using contemporary lines within massive or monumental forms. Attention to detail must be given without appearing unnecessarily ornamental. Columns and arches should provide a feeling of strength, depth and interest at windows and entries.

- These columns are appropriate for use in High Desert
  - Square stucco/plaster
  - Rectangular stucco/plaster
  - Cylindrical stucco/plaster
  - Exposed wood
- These columns may be used with approval of the NCC
  - Stone
  - Metal
- These columns may not be used in High Desert
  - Ornate Corinthian
  - Siding covered
  - Ionic designs
  - Tuscan
  - Egyptian designs

## **Arches**

Arches at High Desert should be simple and integrate with architectural style.

- These arches are appropriate for use in High Desert
  - Massive
  - Segmented
  - Full arch
- These arches may not be used in High Desert
  - Gothic
  - Ogee

## **Elevated Decks**

- Deck support columns must have visual strength and size to give the appearance of substance, unless hidden from view.
- Second story or elevated decks shall be of materials and colors integral to the main building.
- Details of the flashing and scuppers to handle drainage are subject to review. Sheet metal shall be treated to minimize reflectivity.
- Undersides of decks should be finished. No exposed framing is allowed if visible from public view.
- Deck lighting shall comply with High Desert lighting standards in these guidelines.

## **Screens, Shades and Accessory Structures**

- Vertical or horizontal screens, shade covers, patio roofs, and other similar structures attached to the home (permanently, semi-permanently, or temporarily) shall be designed and constructed to match or complement the architectural style, materials, and colors of the home.
- Awnings whether fixed or retractable, may not be used in High Desert.
  - Fixed Awning: A protective covering of non-collapsible, rigid construction that provides weather protection, identity or decoration and is wholly supported by the building to which it is attached and the surface of which has a pitch sloping away from the structure.
  - Retractable awning: A movable awning that rolls or folds against a building or other structure by which it is entirely supported.
- Accessory structures, gazebos, play houses, cabanas, ramadas, equipment structures and enclosures, etc., shall be designed and constructed to match or complement the architectural style, materials, and colors of the home.
- The maximum height of any accessory structure cannot exceed 10 feet.
- Any accessory structure must be located within the Private Area of the Building Envelope.
- All screens, shades, and accessory structures require the approval of either the NCC or MC, as appropriate, prior to installation.

Note: The expectation and requirement is that deployable or movable screens and shade covers will be used on an occasional versus constant or near-constant basis. However, the NCC and MC will assess the fully deployed configuration in their evaluation.



## **Play Structures**

Play structures should be sized, located and screened to not interfere with the visual harmony and enjoyment of the community by other owners in High Desert. Recreational opportunities in Private Spaces are important to families in the community. However, play structure size, material, color, location and screening should be carefully considered.

- All play equipment must be submitted to and approved by the NCC prior to installation or construction.
- All structural elements (permanent or temporary) must be located within the Private Areas.
- Maximum height of 10 feet, measured the bottom of the structure to the top of the structure.
- No moving parts are allowed, which are not integral to the function of the equipment. Prohibited items are, but are not limited to, flags, banners, pinwheels and horns.
- No bright or primary color will be allowed to dominate, or cover the majority of the play equipment/structure. Metallic and reflective colors (gold, silver, etc.) will not be allowed. Primary and bright colors may be used only as accents.
- Muted, pastel and secondary colors are required for the dominant area on all play structures/equipment in order to minimize visual distraction. Colors should blend with the landscape.
- To minimize the view and noise of play equipment landscape screening may be required. No play structures or play equipment is allowed outside of Private Areas.

## **Exterior Artwork**

Exterior artwork should be principally for the enjoyment of the owner and should be carefully integrated with the residence, site, and landscape design to ensure it does not dominate or detract from the environment or create a negative visual impact on surrounding areas. Its placement, scale, and other characteristics, should not draw undue attention to it from other lots, streets, public areas, and it shall not substantially be outlined against the sky when viewed from other lots, streets or public areas.

- Exterior artwork includes free-standing and suspended elements as well as decorative elements applied to the faces of the residence. For the purposes of the artwork section “artwork” also includes sculptures and water features.
- No artwork shall be located on a lot on which no residence has been constructed.
- Artwork located within the Building Envelope and fully screened from other lots, streets and public areas is not subject to review or approval by either the NCC or MC.

- All artwork outside the building envelope shall be submitted to the NCC or MC for approval prior to installation.
- All artwork not fully screened and not meeting all the following criteria shall be submitted to the NCC or MC for approval prior to installation. Artwork not fully screened that meets all of the following criteria may be installed without seeking NCC or MC approval.
  - Its height, including any pedestal or other structure on which it is placed, does not exceed eight feet.
  - It does not include any reflective materials.
  - Its color or colors are all muted tones (generally earth tones).
  - It is wholly static and does not contain any moving parts except flowing water.
  - The element is not illuminated.
  - It is visually integrated with the residence and lot and is compatible with the architectural style of the residence.
  - Its placement, and scale, and other characteristics, are not such as to draw undue attention to it from other lots, streets, public areas, and it shall not substantially be outlined against the sky when viewed from other lots, streets or public areas.

The overall objective of the Guidelines that homes and all associated elements harmonize with the environment and each other must be met in the opinion of the NCC or MC. The NCC or MC shall have sole discretion in approving, or disapproving, any such exception from the general rules on screening. If there are any neighbor complaints about artwork that don't appear to fit the above criteria or meet the overall objective to harmonize with the environment, the NCC or MC will review the artwork for the Board to determine whether the artwork meets the intent of the Guidelines. If the artwork is found to be unacceptable, the owner will be required to remove it.

### **Preserving Air and Visual Quality**

Albuquerque is subject to thermal inversions which can contribute to a degradation of air quality. High Desert's goal is to maintain the highest standards of air quality. For this reason, certain provisions shall apply to the construction of fireplaces or solid fuel burning devices within High Desert.

- Only one wood burning fireplace is allowed per Lot.
- No solid fuel burning device shall be allowed to burn coal.
- All wood burning fireplaces should be equipped with a gas-starter device.

- Natural gas fireplaces incapable of burning wood are exempt from these provisions including the limitation on number of fireplaces.

## **PROCEDURES FOR APPROVAL**

The Board of Directors of the Association enforces the High Desert Guidelines at its discretion. The NCC has exclusive jurisdiction over all residential construction in High Desert and assures compliance with these Guidelines. In addition to the design criteria contained within High Desert Guidelines for Sustainability, planning and design within High Desert is addressed in:

- Declaration of Covenants Conditions and Restrictions for High Desert Residential Properties
- City of Albuquerque Codes and Ordinances
- High Desert Sector Development Plan

### **Design Review Procedures**

The design review process was developed to provide adequate checkpoints to minimize the time and money spent on achieving residential designs consistent with the Guidelines and the overall philosophy of High Desert. This process has been structured to eliminate delays. Nevertheless, each owner is responsible for complying with the Guidelines and all other applicable provisions of the Declaration, as well as all the rules and regulations of any governmental authority, in order to bring the design review process to a speedy and satisfactory conclusion. Owners are strongly encouraged to be involved in the design review process and attend the Pre-Design and Pre-Construction Meetings.

### **Cash Construction Deposit**

Prior to the NCC plan approval to proceed with construction, the owner will be required to post cash deposit as assurance of their intent to comply with the provisions of these Guidelines. Handling and return of the deposit is described in the HDROA NCC policy available on the HDROA web site.

### **Approval Process**

1. The Pre-Design Meeting
2. The First Plan Review
3. The Final Plan Review
4. Pre-Construction Meeting
5. Construction Review
6. Post Construction Submittal/Final Inspection

## **Pre-Design Meeting**

To initiate the review and approval process prior to preparing any drawings for a proposed improvement, it is necessary that the Owner and/or Architect meet with a representative of the NCC to discuss the proposed residence and to explore and resolve any questions regarding building requirements, interpretation of the Guidelines, or the design review process. This informal review is intended to facilitate an efficient planning and design process and to offer guidance prior to the initiation of preliminary design. An appointment for the Pre-Design Meeting should be made at least one week in advance.

- To assist in the design process the NCC can provide the contact information to obtain a topographical map of the property in hard copy and in Auto-Cad disk format.
- It is the responsibility of the owner to verify all property elevations, grades, and benchmarks.
- Owners are strongly encouraged to attend the Pre-Design Meeting with their architect or builder.

## **Checklist for Sketch Plan Review Submittals**

- Site plan at a scale no less than 1" = 20' on a 24" x 36" or a 30" x 42" sheet
- Roof Plan and Floor Plans at no less than 1/4" = 1'0".
- Exterior elevations of all sides of the residence, at the same scale as the floor plans.
- Preliminary landscape plan at the same scale as the site plan.
- Grading and drainage plans.
- Any other drawings, materials, or samples requested by the NCC.

## **First Plan Review Submittal**

Three (3) sets of preliminary drawings, including all of the required exhibits, must be submitted to the NCC after the Pre-Design Meeting. The owner is responsible for the accuracy of all information. First Plan Review Submittals shall include:

- **Site Plans:** Show boundaries, dimensions, locations and areas of the Building Envelope, the residence and all other buildings or major structures, driveway, parking areas, patios, pools, walls, trash enclosures, proposed utility service facilities and routes, site grading, including existing and proposed utility easements, existing and proposed contours at two foot intervals, and topographic features such as washes, rock outcroppings and existing trees and major shrubs to be retained and relocated, and elevations of all building floors, patios, and terraces, shown in relation to site contour elevations. All accessory uses contemplated on the lot must be shown in this drawing. Grades, elevations, boundaries, Building Envelope

dimensions/locations must be field verified by owners' surveyor, or engineer. Survey benchmark and elevation information may be obtained from the NCC.

- Show all floor plans and roof plans indicating areas of flat and sloped roofs and all skylights and roof mounted equipment such as air conditioning units, solar collectors, etc.
- **Elevations:** Show both existing (natural) and proposed finish grade lines and spot elevations, indicate all exterior materials and general colors, window specifications as well as elevations (heights) of all parapets and roof ridge lines. All dimensions must be shown and masses indicated. The natural grade elevations, at the low point and the high point, adjacent to the proposed structure must be indicated. The elevation of the highest point on the proposed structure, excluding chimneys, must also be indicated and the height from the low point adjacent to the proposed structure to the highest point on the structure must also be indicated.
- **Preliminary Landscape Plan:** Show the general locations, sizes, quantities and species of plant materials proposed, including proposed transplanting plan.
- **Grading and Drainage Plans:** Must be prepared by an engineer. The plan must indicate all appropriate elevations and drainage facilities and should be in conformance with the Guidelines.
- **Staking:** To assist the NCC in its evaluation of the First Plan Review Submittal, the owner may be required to provide preliminary staking at the locations of the corners of the residence or major improvements and other locations.
- **Low Point:** It is very important for the owner to establish the lowest spot and elevation of the natural grade adjacent to the proposed structure ("Low Point"). This Low Point and its elevation, is critical in determining the height of a structure. This point and its spot elevation must be clearly indicated on all plans. At the Pre-Construction meeting the owner will be required to sign the Construction Regulations, which in part, requires them to acknowledge the Low Point location and spot elevation. No structure can exceed 26 feet from the Low Point to the highest point on the structure, excluding chimneys. For more information regarding this requirement refer to the Building Heights in the Architecture Section.

### **Checklist for Final Plan Review Submittals**

- Complete construction documents.
- Sample of all exterior materials, colors and glass specifications.
- All exterior artwork within the Private Area or Building Envelope and not fully screened from other lots, streets and public areas, must be depicted on plans submitted for approval. The submittal must include color photographs or drawings including either a scale or dimensions and. As applicable, the submittal must include specifics as to materials, moving parts, and noise generation.
- Landscape Plan. Showing the landscape treatment of all Natural, Transition and Private

Areas. These plans should be the same scale as the site plan. Indicate areas (if any) to be irrigated, names, quantities, locations and sizes of all existing and proposed plants any decorative features such as pools, imported rocks or sculptures. Also show any plans for transplanting native materials. All disturbed areas in the Transition and Natural Areas must be re-vegetated within thirty days after completion of the home.

- Final Grading and Drainage Plans. Must be prepared and stamped by an engineer. The Owner is required to have the Owner's engineer, upon completion of the home, certify that the grading and drainage construction was completed in substantial compliance with the plans approved by the NCC.
- Lighting Plan: Showing location, types of illumination, fixtures, lamps, reflectors and other devices. Supply catalog cut sheets and light source specifications.
- Schedule: Indicating approximate dates for starting and completion of construction, utility hook-up, completion of landscaping work, and anticipated occupancy date.
- Plant Tagging: Tag all plants proposed for transplanting.
- Construction fencing plan.
- First Plan Review
  - The NCC will review the First Plan submittal for conformance with the Guidelines and provide a written response, which will generally include a "redlined" set of the First Plan documents with comments by the NCC to the owner within fifteen business days.
- Final Plan Review Submittal
  - After review of the First Plan, and response from the NCC to the Owner the following issues should be addressed and documents are to be submitted to the NCC for final approval:
  - Final Plan Submittal must address all previous NCC comments. The "redlined", or comment copy of the First Plan must be returned with the Final Plan Submittal.
  - The owner is responsible for the completeness and accuracy of all information. All spot elevations must be field verified by owner's surveyor or engineer using elevation benchmarks which can be obtained from the NCC.
  - Construction Documents: Three complete sets of construction documents must be submitted and must include all information necessary to demonstrate compliance with the Guidelines. Include all utility locations, electric and gas meter, telephone and electric pedestals and transformer locations, manufacturer's catalog cut sheets of all exterior fixtures. All dimensions and masses, as required on the First Plan Submittal must be indicated. All fireplaces, including outdoor fireplaces, must indicate if they are wood burning or gas.

- Samples: The NCC may require samples of all exterior materials and colors, window and glass specifications, outdoor light fixtures and specifications and accent items including color photographs of any exterior artwork. If requested, these should be mounted on a manageable size board and indicate the owner's name, date, lot number and street address.

## **Final Plan Approval**

- The NCC will review the submittal for conformance with the Guidelines and provide a written response to the Owner within fifteen business days.
- Incomplete Final Plan Submittal: If at the time of Final Plan Submittal, the owner has not selected colors, materials, light fixtures, or other such items, including landscape plans and the plans are otherwise in compliance with the Guidelines and approved by the NCC; the Final Plan Approval will be conditioned on the requirement that these issues and items are approved by the NCC prior to their installation.
- The NCC will provide a letter of approval and a set of the Final Plan submittal documents stamped and signed by the NCC.

## **Resubmittal of Drawings**

In the event of disapproval by the NCC of either a First Plan or Final Plan Submittals, the resubmission of drawings must follow the same procedure as the original submittal.

## **Pre-Construction Conference**

Construction may not proceed before the Pre-Construction Conference and the Owner and Builder have signed the Construction Regulations. Please see the Construction Regulations Section of these Guidelines for more information.

## **Construction Review**

The NCC may review the building and lot during construction for conformance with these Guidelines and the approved building, grading and drainage plans. The NCC may have the NCC engineer field verify Building Envelope location, structure location, pad, finished floor and building heights during construction.

## **Additional Construction and/or Exterior Changes**

Any changes to the plans approved by the NCC, either before start of construction, or during construction must be submitted and re-approved by the NCC before construction of any proposed changes begins.



## **Variance from Guidelines and Procedures**

The Declaration provides that a variance from any of its Guidelines and procedures may be authorized by the NCC when special circumstances require.

- Rules and Regulations for granting a variance may be obtained from the NCC.
- A variance can only be granted when, in the sole and absolute opinion of the NCC, a unique circumstance dictates.
- A variance may only be granted when there are unique circumstances, including but not limited to such issues as topography, natural obstructions, hardship, aesthetic or environmental considerations.
- Granting of variances is not lightly undertaken by the NCC. It is strongly suggested that applications for a variance by an owner only be considered under extreme circumstances.
- The brief notice and description of variance issues in these Guidelines is not intended to replace the Rules and Regulations for granting a variance. It is intended only to put the reader on notice that a variance procedure is in place.

## **Post Construction Submittal/Release Of Deposit**

- During or after construction of the building, foundations, floor slabs, privacy walls and grading within the Building Envelope, final as-built grades and horizontal dimensions of the top of footing walls, adjacent finished grades, and finished floor elevations shall be provided to the NCC. The accuracy of the final as-built drawings and grades shall be certified by the owners engineer or surveyor. The NCC may, in its review of submitted material, require the owner to stake Building Envelope corners before approving any submittal.
- The information will be reviewed for compliance with the Approved Final Plan Submittal. Deviations from the Final Plan Submittal must be addressed and approved or rectified to conform with the Approved Plan.
- Before the Owner's/Builder's Construction Deposit will be returned, the Final Inspection, as detailed in the Construction Regulations of these Guidelines, must be successfully completed. All construction, including landscaping must be complete and certification must be received from Owner's engineer that grading and drainage construction was completed in substantial compliance with plans approved by the NCC. The certification must be in a form acceptable to the NCC.
- Before the owners Construction Deposit will be returned, the NCC may field verify all submittals for accuracy. The NCC may require the owner, at owner's cost, to field verify and stake the Building Envelope or other features.

# **CONSTRUCTION REGULATIONS**

To assure that the intent of these Guidelines are incorporated into the building process and that the natural landscape of High Desert is not unduly damaged during construction, the following Construction Rules shall be part of the NCC requirements for building in High Desert. The NCC will monitor construction to assure that building is proceeding in accordance with the Guidelines. Owners will be notified of any inconsistencies.

## **Responsibility**

Lot owners at High Desert have the ultimate responsibility for the actions and activities of builders, contractors, subcontractors and suppliers as they relate to these Guidelines. If the NCC encounters problems of compliance with these Guidelines during the course of construction the NCC will notify the owner. It is the owner that is responsible for compliance with the Guidelines.

## **Typical Construction Sequence**

- 1) Provide Cash Deposit
- 2) Pre-Construction Conference
- 3) Sign Construction Regulations
- 4) Receive Approved Final Plan from NCC
- 5) Commence Construction
- 6) Fence Transition Area
- 7) Restore Transition Area
- 8) Complete Construction
- 9) Final Inspection
- 10) Drainage Certification
- 11) Return Cash Deposit

## **Pre-Construction Conference**

A meeting with the NCC prior to any construction activity is required to review procedures and clarify logistics. The NCC requests that both the owner and builder attend this conference and that the owner and builder sign a copy of the Construction Regulations agreeing to comply with them.

When the Final Plans have been approved by the NCC, Cash Deposit received, Pre-construction Conference held and Construction Regulations signed by the owner, builder and the NCC, the construction may start. Construction may not proceed before the Construction Regulations are signed.

### **Work In Progress-Inspection**

The NCC may and will inspect work in progress. Any evidence of non-compliance with the Guidelines will be communicated to the owner and builder. Lot owners at High Desert have the final responsibility for compliance with the terms and conditions of these Guidelines and the Declaration. During construction, the Transition Area must be fenced. Prior to the start of construction the right-of-way must be protected.

### **Commencement Of Construction**

Once plans have been approved by the NCC, the owner must begin construction within one year (the date construction is deemed to have started is the date on which the Construction Regulations are signed by the NCC) and substantially complete construction one year thereafter.

### **Non-Waiver**

Any approval by the NCC of drawings, specifications, work done or proposed, or in connection with other matters requiring approval under these Guidelines or the Declaration, including a waiver by the NCC, shall not be deemed to constitute a waiver of the right to withhold subsequent approval. For example, the NCC may disapprove an item shown on the Final Plan Submittal even though it may have been evident and could have been but was not disapproved at the Sketch Plan Review. An oversight by the NCC of non-compliance at any time during the review process, construction process or during its final inspection, does not relieve the owner from compliance with these Guidelines and all other applicable codes, ordinances and laws.

### **Construction Trailers, Etc.**

Any owner or builder who desires to bring a construction trailer, field office, or the like to High Desert shall obtain written approval from the NCC by submitting a copy of the site plan with proposed locations of the construction trailer or field office, the portable toilet, and the trash receptacle. Temporary structures must be removed before the Final Inspection.

### **Fencing**

To protect the Natural Area of a lot from damage during construction, the NCC requires a fence, at least six feet high, to be installed completely enclosing the construction area and the Transition Area.

- The fence shall follow the alignment of the Transition Area, shall have a single entrance located at the driveway entrance, and shall be maintained intact until the completion of

construction. The distance between the fence and the planned improvement can be no greater than seven feet but may encroach into the Natural Area. If greater than seven feet is required, NCC approval is required.

- The construction trailer, (if any), portable toilet, construction material storage and dumpsters must all be contained within the chain link fence.
- In special cases, the NCC may allow materials to be stored outside the fence when approved in advance by the NCC.
- The fence must be installed no later than the time footings are completed; however, the NCC may require that the fence be installed earlier.
- The right-of-way (next to the curb where applicable) must be flagged or fenced with a wind fence, separate from the Transition Area, before the start of construction to prevent disturbance to this area. The NCC may require both sides of a street and adjacent property be protected.

## **The Transition Area**

Transition Areas: The Transition Area is that part of the Building Envelope and or Natural Area between the construction fence and any improvement or walls of the residence, which is visible from adjacent properties, streets or public spaces. For more complete definition refer to the Site Planning section of these Guidelines.

- The Transition Area boundary within the Natural Area is a maximum of seven feet from the improvement being constructed.
- Upon completion of construction, this area must be replanted with native vegetation to match the adjacent Natural Area in appearance.

## **The Natural Area**

The Natural Area of the lot is that area outside the Transition Area and generally must remain in an undisturbed condition. However, landscaping (with an approved plan from the NCC) and certain other construction activities or improvements may take place in this area. For more complete definition of the Natural Area refer to the Site Planning Section of these Guidelines.

## **Encroachment and Construction in the Natural Area**

If it is necessary to conduct construction activities outside of the Transition Area (in the Natural Area) in order to complete an improvement falling within the Building Envelope, the owner of the lot, or the owner's representative, must submit to the NCC a description and plan (if applicable) of the proposed encroachment. If approved, this encroachment into the Natural Area must be returned, as closely as possible, to its original condition. The NCC will only permit such encroachment where the proposed improvement within the Building Envelope is located so close

to the Building Envelope line that construction is unreasonably difficult without the construction activity encroachment.

Encroachment into the Natural Area may be allowed, if shown on the Final Plan which was approved by the NCC, for construction of water lines, sanitary sewer lines and facilities, electric lines, gas lines, cable TV lines, water harvesting facilities, storm water drainage facilities or natural retaining structures. Any disruption of the Natural Area must be minimized and disruption limits indicated on the Final Plan approved by the NCC. The Natural Area that is disturbed during construction must be restored prior to Final Inspection. Encroachment into a AMAFCA easement requires a Encroachment License from AMAFCA (which must be obtained by the owner at their expense) and approved by the NCC, prior to any encroachment.

### **Debris and Trash Removal**

Trash and debris shall be removed from each construction site frequently and not be allowed to accumulate. During construction, each construction site or the route to and from the construction site, shall be kept neat and clean, and shall be properly policed to prevent it from becoming a public eyesore.

- Builders shall clean up all trash and debris on the construction site as needed. However, the site must be cleaned each Friday.
- Builders must clean up blowing trash and debris from their job site that is on adjacent lots or Open Space.
- Temporary concrete or other material “wash pits” must be in approved locations and removed and remediated by the contractor after completion of construction.
- Lightweight materials, packaging, and other items shall be covered or weighted down to prevent their being blown off the construction site.
- Builders are prohibited from dumping, burying, or burning trash anywhere on High Desert except as expressly permitted by the NCC.
- Unsightly dirt, mud, or debris from activity on each construction site and on the adjacent public street must be promptly removed and the general area cleaned.

### **Sanitary Facilities**

Portable toilets or similar temporary toilet facilities shall be located only within the fenced Transition Area or in an area approved by the NCC.

### **Vehicles and Parking Areas**

- Construction crews shall not park on, or otherwise use, other lots or any open space.
- When parked on the lot, private and construction vehicles and machinery shall be parked

only within the Building Envelope or in areas designated by the NCC.

- When parked on the street, all vehicles shall be parked consistent with City ordinances.
- Construction vehicles must be on the paved surface unless they are parked on the owner's property.

### **Conservation of Landscape Materials**

Builders are advised that the lots and open spaces of High Desert contain valuable native plant and other natural features, such as topsoil, that should be absolutely protected during construction.

### **Excavation Materials**

Excess excavation materials must be hauled away from High Desert at the time of excavation and not stored on the site.

- Concrete cleanup must be done so as not to affect the Natural Areas of a lot or allow runoff to flow into Natural Areas, streets, drainage easements, or other lots.

### **Blasting**

If any blasting is to occur, the NCC must be informed far enough in advance to make sure that the applicant has obtained the advice of expert consultants that blasting may be accomplished safely. These consultants must advise the NCC in writing.

- No blasting or impact digging causing seismic vibrations may be undertaken without the approval of the NCC based upon such advice from a qualified consultant.
- Applicable governmental regulations concerning blasting must be observed and all required permits obtained.
- The NCC's only responsibility is to require evidence of such consultant's expertise and shall have no liability for the blasting.

### **Restoration Or Repair Of Other Property Damages**

Damage to any property, open space or other lot, including, but not limited to roads, driveways, concrete curbs, gutters, utilities, vegetation and/or other improvements, resulting from construction operations, will not be permitted. If any such damage occurs, it must be repaired and/or restored promptly and any expenses are those of the owner causing the damage.

## **Dust and Noise Control**

The High Desert community must be protected from dust and noise arising from construction activities.

- Contractor shall maintain a program of dust and erosion control at all times during construction and until cut and fill areas are stabilized and planted areas established.
- The Builder shall be responsible for controlling dust and noise, including (without limitation) music from the construction site in accordance with the City of Albuquerque Environmental Health Regulations.

## **Construction Access**

The only access, during the time a residence or other improvement is under construction, will be over the approved driveway for the lot, unless the NCC approves an alternative access point. Only one construction access shall be permitted onto any lot, except with the written approval of the NCC. If an additional construction access is approved, the NCC may limit the location use and duration of the access.

## **Construction Signage**

All signs at High Desert will conform to a unified standard prescribed by the NCC.

- Only one construction sign will be allowed per lot.
- Construction signs will convey only the general contractors and/or architects identification - name, logo, telephone number.
- Construction signs shall be removed by the contractor at the completion of construction.
- No other construction signs (i.e. subcontractors, material suppliers) are permitted on the lot.
- No banners, flags, etc., are permitted, except for special events and those must be approved in advance by the NCC.

## **Miscellaneous and General Practices**

All owners will be responsible for the conduct and behavior of their agents, representative, builders, contractors, and subcontractors while on the premises of High Desert. The following practices are prohibited:

- Fuels, lubricants and other petrochemicals must be handled in accordance with government regulations. Protect against construction equipment leaks or discharges of

fuels or lubricants. Contain petrochemical spills including contaminated soil and dispose of it at approved sites.

- Changing oil on any vehicle or equipment on the site itself or at any other location within High Desert other than at a location (if any) designated for that purpose by the NCC.
- Allowing concrete suppliers, plasterers, painters, or any other subcontractors to clean their equipment anywhere but the location specifically designated (if any) for that purpose by the NCC.
- Disturbing or removing any rocks, plant material, topsoil, or similar items from any property of others within High Desert including adjacent property and other construction sites.
- Disposing carelessly of cigarettes and other flammable material.
- Fires of any type including campfires and the burning of waste material or trash.
- Carelessly treating or removing protected plant materials or plants not previously approved for removal by the NCC.
- Disposing of trash or any other material on any lot or property in High Desert.

## **Preservation of Archaeological Sites**

A detailed archaeological survey has been conducted for High Desert. While there are no known archaeological sites on any of the building lots, artifacts may be encountered during the construction process. If artifacts are encountered during construction, follow appropriate governmental regulations.

## **Daily Operation**

Daily working hours for each construction site shall be from 30 minutes before sunrise to 30 minutes after sunset unless other hours are designated in writing by the NCC. Construction on Saturday and Sunday shall not start before 7:30 AM and must end by 5:30 PM.

## **Final Inspection**

The owner of any residence or other improvement under construction shall give written notice to the NCC when the structures are complete. Within 20 days of such notice the NCC will inspect the residence and/or improvements. If it is found that any work was not done in compliance with the approved Final Plan Submittal and these Guidelines, it shall notify the owner in writing, specifying in reasonable detail the particulars of non-compliance, and shall require the Owner to remedy the same. If within 30 days of the NCC's notification, the owner has not corrected the items of noncompliance, the NCC may take such action to remedy this non-compliance as is provided for in these Guidelines or the Declaration including, but without limitation, injunctive relief or the imposition of a fine.



All construction must be completed and in compliance with the Final Plan approved by the NCC, including restoration of disturbed Transition and Natural Areas and the grading and drainage improvements complete and certified in substantial compliance, by the owner's engineer, before the Final Inspection will be approved by the NCC.

- The engineer, for the owner, must certify that grading and drainage construction was completed in substantial compliance with plans approved by the NCC, less any amounts withheld or applied pursuant to these Guidelines.
- All construction must be completed and in compliance with the Final Plan approved by the NCC.
- Any Transition and Natural Areas that have been disturbed must be restored.
- The Construction Deposit will be returned after the Final Inspection has been satisfactorily completed and the grading and drainage certification received from the Owner's engineer and approved by the NCC.

## **Enforcement**

In addition to such other rights which are specifically granted in these Guidelines, in the Declaration and in the By-Laws of the Association, the High Desert Residential Owners Board of Directors has the power to impose reasonable fines, which shall constitute a lien upon the Unit of the violator.

Any structure or improvement placed or made in violation of the Declaration and the Guidelines shall be deemed to be nonconforming. Upon written request from the NCC, owners shall, at their own cost and expense, remove such structure or improvement and restore the land to substantially the same condition as existed prior to the nonconforming work. Should an owner fail to remove and restore as required, the Board or its designees shall have the right to enter the property, remove the violation, and restore the property to substantially the previously existing condition.

In addition to the foregoing, the Association shall have the authority and standing to pursue all legal and equitable remedies available to enforce the provisions and decisions of the NCC.